

# Planning Committee



SOUTH  
KESTEVEN  
DISTRICT  
COUNCIL

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Thursday, 31 July 2025 at 1.00 pm  
Council Chamber - Council Offices,  
St. Peter's Hill, Grantham. NG31 6PZ

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**Committee Members:** Councillor Charmaine Morgan (Chairman)  
Councillor Penny Milnes (Vice-Chairman)

Councillor Harrish Bisnauthsing, Councillor Pam Byrd, Councillor Patsy Ellis,  
Councillor Paul Fellows, Councillor Tim Harrison, Councillor Gloria Johnson,  
Councillor Vanessa Smith, Councillor Sarah Trotter,  
Councillor Mark Whittington, Councillor Paul Wood and Conservative Vacancy

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## Agenda

This meeting can be watched as a live stream, or at a later date, [via the SKDC Public-I Channel](#)

- 1. Register of attendance and apologies for absence**
- 2. Disclosure of interests**  
Members are asked to disclose any interests in matters for consideration at the meeting
- 3. Minutes of the meeting held on 3 July 2025** (Pages 3 - 20)

### Planning matters

To consider applications received for the grant of planning permission – reports prepared by the Case Officer.

*The anticipated order of consideration is as shown on the agenda, but this may be subject to change, at the discretion of the Chairman of the Committee.*

4. **Application S24/1453** (Pages 21 - 48)
- Proposal:** Application for reserved matters relating to layout, scale, appearance, landscaping and access following outline planning permission S22/1065
- Location:** The Gables, Honington Road, Barkston, Lincolnshire, NG32 2NG
- Recommendation:** To authorise the Assistant Director – Planning & Growth to GRANT reserved matters consent, subject to conditions
5. **Application S25/0672** (Pages 49 - 63)
- Proposal:** Proposed change of use of outbuildings to short term holiday accommodation
- Location:** Fortescue Arms, 27 High Street, Billingborough, NG34 0QB
- Recommendation:** To authorise the Assistant Director – Planning & Growth to GRANT planning permission, subject to conditions
6. **Application S22/2371** (Pages 65 - 92)
- Proposal:** Erection of twelve self-contained flats with associated hard and soft landscaping, cycle and bin storage and detached storage building
- Location:** Land Off Burghley Street, Bourne
- Recommendation:** To authorise the Assistant Director – Planning & Growth to GRANT planning permission, subject to the completion of a Section 106 legal agreement
7. **Application S25/0992** (Pages 93 - 112)
- Proposal:** Section 73 application to vary Condition 2 (Approved Plans) of planning permission S22/2308 (Erection of 21 affordable dwellings with associated access, landscaping, parking and cycle storage provision)
- Location:** Land rear of Larch Close and Shaw Road, Grantham
- Recommendation:** To authorise the Assistant Director – Planning & Growth to GRANT planning permission, subject to conditions

**8. Application S25/1158**

(Pages 113 - 123)

**Proposal:** Remove the bell turret from the building intact using a crane and to take it off site to a suitable joinery workshop facility to be deconstructed, assessed, repaired and then remounted on the building at a later date.

**Location:** Guildhall Arts Centre, St Peter's Hill, Grantham, Lincolnshire, NG31 6PY

**Recommendation:** To authorise the Assistant Director for Planning & Growth to APPROVE listed building consent subject to conditions

**9. Any other business, which the Chairman, by reason of special circumstances, decides is urgent**

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## Minutes

### Planning Committee

Thursday, 3 July 2025, 1.00 pm

**Council Chamber – South  
Kesteven House, St. Peter’s Hill,  
Grantham, NG31 6PZ**



**SOUTH  
KESTEVEN  
DISTRICT  
COUNCIL**

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#### **Committee Members present**

Councillor Charmaine Morgan (Chairman)

Councillor Harrish Bisnauthsing

Councillor Pam Byrd

Councillor Patsy Ellis

Councillor Tim Harrison

Councillor Gloria Johnson

Councillor Mark Whittington

Councillor Paul Wood

Councillor Helen Crawford

Councillor Max Sawyer

#### **Cabinet Members present**

Councillor Richard Cleaver

#### **Officers**

Emma Whittaker (Assistant Director of Planning and Growth)

Phil Jordan (Development Management & Enforcement Manager)

Adam Murray (Principal Development Management Planner)

Miranda Beavers (Senior Development Management Planning Officer)

Alex McDonough (Assistant Development Management Planner)

Amy Pryde (Democratic Services Officer)

Paul Weeks (Legal Advisor)

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#### **10. Register of attendance and apologies for absence**

Apologies for absence were received from Councillors David Bellamy, Sarah Trotter, Paul Fellows, Vanessa Smith and Penny Milnes.

Councillor Helen Crawford substituted for Councillor Sarah Trotter.

Councillor Max Sawyer substituted for Vanessa Smith.

#### **11. Disclosure of interests**

Councillor Mark Whittington declared an interest in application S25/0553, he therefore, would not participate in the debate or vote.

Cllr Tim Harrison declared an interest in application S25/0553, he therefore, would not participate in the debate or vote.

Councillor Charmaine Morgan declared that the applicant to application S25/0553 was a relative of a Councillor. All Members had been trained to retain their independence and were not pre-determined of the application.

Councillor Harrish Bisnauthsing declared that he was the Ward Member for applications S25/0258, S25/0259 and S25/0296. He noted that he was not pre-determined and came to the Committee with an open mind.

Councillor Charmaine Morgan declared the following on behalf of the Committee:

‘South Kesteven District Council has a land interest in St Martins Park, Stamford, subject to legal agreement. This would not fetter the Committee’s discretion to make a decision as the Local Planning Authority and ownership was not a material planning consideration’.

## 12. Minutes of the meeting held on 12 June 2025

The minutes of the meeting held on 12 June 2025 were proposed, seconded and **AGREED** as a correct record.

## 13. Application S25/0553

*(Councillors Tim Harrison and Mark Whittington left the Chamber, due to their declarations of interest).*

<b>Proposal:</b>	Dormer to side elevations of previous extension
<b>Location:</b>	The Conifers, School Lane, Old Somerby, Lincolnshire, NG33 4AQ
<b>Recommendation:</b>	To authorise the Assistant Director – Planning & Growth to REFUSE planning permission.

Noting comments in the public speaking session by:

Against	Linda Dodd
Applicant	Anita Selby

Together with:

- Provisions within South Kesteven Local Plan 2011-2036, Design Guidelines Supplementary Planning Document, National Planning Policy Framework (NPPF) and Old Somerby Neighbourhood Development Plan.
- Comments received from Old Somerby Parish.

- Comments received from Lincolnshire County Council (Highways and SuDS).

During questions to Public Speakers, Members commented on the following:

- It was requested that the applicant provide more information on the unsuitability of their current bathroom arrangement. The applicant explained that there was a region of the bathroom currently inaccessible, rendering it difficult to include a shower.
- It was explained by an officer that the applicant could come with a revised application post-decision, then they had the opportunity to.
- The officer advised the applicant to seek advice from the officers before submitting a revised application.
- An officer confirmed that the issue was not necessarily one of the applicant overlooking, but the perception of being overlooked by the neighbours.
- The applicant stated they intended to submit amended plans.

During questions to officers and debate, Members commented on the following:

- A Member asked for clarification on whether the windows were able to open in the proposal, and it was confirmed that the windows were glazed and non-opening.
- A member commented that given the nature of the application being for a bathroom, it was likely that the applicants would return to request the windows to be opening.
- A member asked for confirmation that the agreement in the previous meeting for glazed windows to be installed on the ground floor had not been followed through, and if that required enforcement action. Confirmation was given that the officer was aware of the concerns and that they should have no bearing on the present discussion.
- Members considered the dormer windows would result in overlooking of the neighbours garden due to the pre existing extension running parallel to the garden.
- It was noted that prior permission for ground floor extension required obscure glazing to prevent overlooking. It had not been installed by the applicant. A request was made by the Chair for enforcement team to investigate the outstanding matter.

It was proposed, seconded and **AGREED** to authorise the Assistant Director – Planning & Growth to **REFUSE** planning permission.

#### 14. Application S25/0258

**Proposal:**

Application for the approval of reserved matters relating to appearance, landscaping, layout and scale for a mixed-use development comprising light industrial units (Use Class E(g)), Offices (Use Class E(g)), convenience store (Use Class E(a)), café

(Use Class E(b)) and 23 residential dwellings (Use Class C3) pursuant to outline planning permission S20/2056

**Location:**

Land to the north of Barnack Road  
Stamford

**Recommendation:**

To authorise the Assistant Director – Planning & Growth to GRANT reserved matters consent, subject to conditions

Noting comments in the public speaking session by:

Andrew Rowland, Senior Architect on behalf of Burghley Land Ltd  
Mark Flood, Director, Insight Town Planning Ltd on behalf of Burghley Land Ltd  
(both answering questions only)

Together with:

- Provisions within South Kesteven Local Plan 2011-2036, Stamford Neighbourhood Plan, Design Guidelines for Rutland and South Kesteven Supplementary Planning Document, National Planning Policy Framework (NPPF) and South Kesteven Local Plan Review 2021-2041.
- No comments received from Anglian Water.
- No comments received from Barnack Parish Council.
- No comments received from Environment Agency.
- No comments received from The Gardens Trust.
- No comments received from Historic England.
- Comments received from Lincolnshire County Council (Highways & SuDS).
- Comments received from Lincolnshire Fire and Rescue.
- No comments received from Lincolnshire Police Crime Prevention Officer.
- No comments received from Lincolnshire Wildlife Trust.
- No comments received from Ministry of Defence – Defence Infrastructure Organisation.
- Comments received from Network Rail.
- Comments received from Peterborough City Council.
- Comments received from SKDC Conservation Officer.
- No comments received from SKDC Environmental Protection.
- Comments received from SKDC Urban Design Officer.
- No comments received from St. Martins Without Parish Council.
- Comments received from Stamford Civic Society.
- No comments received from Stamford Town Council.
- No comments received from Welland & Deepings Internal Drainage Board.
- No comments received from Wothorpe Parish Council.

During questions to Public Speakers, Members commented on the following:

- The provision, number and location of car parking was queried.

The Applicant clarified parking areas were to the back of the site and were broken down into smaller areas to incorporate landscaping and SuDS. Parking would reflect policy requirements.

- Whether traffic generation would be of the same density as the old factory.

Traffic generation was reflected at outline planning application in 2022. The Highway Authority had considered the net change and were satisfied with the uplift during certain hours of the day, with appropriate mitigations being put in place.

- Whether the computer-generated images were accurate in relation to design.

The Applicant confirmed their ability to deliver the proposal in line with the computer-generated images. Burghley had land ownership of the site and had strong opinions and input in terms of design quality.

- Concern was raised on energy conservations and solar panels and the provision of these.

A wide range of sustainability features were proposed for the site, including solar panels. With the area being architecturally sensitive, solar panels would be hidden, for example, through a valley double pitch roof. Air source heat pumps would also provide energy for the buildings.

- Whether there would be a provision for EV charging points.

The Principal Development Management Planner clarified further detail in terms of sustainability were covered by a separate condition on the outline permission and would be a separate decision. Condition 31 requires the development to meet certain sustainability criteria and energy performance specified at outline stage.

The Applicant confirmed all 3 applications would come forward as a phasing scheme for the site as a whole, which was covered by condition.

- Who would be responsible for all open spaces and greenery of the site.

The responsibility of open spaces was covered at outline permission and would be managed by a management company, with influence from Burghley Estate.

- Whether a management company would implement overhead charges to the businesses or residents of the site.

It was confirmed overhead charges to businesses and residents was expected.

- The level of public consultation that had taken place was queried.
- Concern was raised of the access to the railway, at the north of the site. It was queried whether any safety fences would be implemented for safety measures.

A reserve matters within the application was hard and soft landscaping, the detail of the applications included how the northern edge would be treated as a landscaping barrier.

Network rail had been consulted on all applications and their consultation response included the types of species required of them to efficiently screen the railway, the types of species due to be planted, had been verified by Network Rail. They also requested a form of fencing along the railway boundary, which would be dealt with separately.

- One Member queried whether a full visual impact assessment had taken place from key viewpoints within Stamford's Conservation Area, whether the size and scale of Barnack Road frontage adequately preserved Burghley House and lastly, whether the variation reflected Stamford's historic character.

Conditions had been agreed at the outline planning permission in terms of landscaping, land use and building heights permitted on site. The report highlighted liaison with the Council's Conservation Officer, Historic England and The Gardens Trust and all were in support of the scheme and had no concerns around the relationship with Burghley and the assets involved.

- Whether the level crossing had been upgraded in order to make it safer to cross. It was questioned if the road leading to Barnack Road not crossing had been completed yet.

The Principal Development Management Planner confirmed the railway crossing upgrade was secured through a S106 agreement, which included additional street trees, bus stops including the entire footpath being upgraded.

A Car parking specific document had been sent to Lincolnshire County Council (Highways). For the office and industrial area to the West of the site, the parking requirement was 218 and the site proposed provided 219 spaces.

- Whether comments from Peterborough City Council had been incorporated into the design as requested.

The Officer had noted the comments received from Peterborough City Council, however, the Council had their own expertise in terms of design quality, and they were satisfied with it.

- Clarification and more details were sought around the green lawn throughout the site.

The land use plan showed an area of land on the eastern part of the site and the northern soft landscaping buffer to the railway line. Green areas would be interweaved throughout the site to aid connectivity routes throughout.

- Clarification was sought around court parking and roads, as set out in the plans.

The plan differentiated court parking and roads within the site where traffic calming measures were proposed.

- Whether the Applicant could guarantee that nonindustrial units would not be replaced by housing in future.

The Assistant Director for Planning and Growth clarified there was no guarantee of future changes to the site. If the owners of the site wished to apply for a different use, a new application would need to be submitted and considered on its own merits.

Condition 17 removes the permitted development rights meaning the any change to the use of the site would require planning permission.

- Concern was raised from Lincolnshire County Council SuDS where they had stated drainage proposed was not the most appropriate form, however, was adequate.

It was highlighted that Lincolnshire County Council SuDS would have preferred to see more swales incorporated within the scheme, The difficulty in doing this meant more swales requires a bigger area of land which may impact the character of the area and historic location. However, the drainage solution was adequate to manage the level of water runoff required.

A member highlighted that whilst Building Regulations cover fire safety design those relating to the wider development are a matter for consideration of the planning committee.

During questions to the applicants agent it was confirmed fire hydrants would be provided in appropriate locations throughout the site. All roads would be capable of taking a fire engine.

The Civic Society had requested all development to run concurrently. The Applicants agent confirmed this would be the case.

During questions to officers and debate, Members commented on the following:

- Some Members were satisfied with the application and pleased to see the master plan presented to them.

Councillor Tim Harrison raised the following concerns:

- That outline permission was for 1 application, which had recently been split into 3.
- That Officers mentioned a possible fracture in delivery of the project.

- That Stamford Civic Society would only be satisfied if the 3 sites be developed concurrently.
- That Lincolnshire County Council (SuDS) had state drainage would be adequate at present however, not for the future use as more swales would be preferred.

The Assistant Director for Planning and Growth confirmed that feedback from SuDS included factors around climate change, drainage and flooding. The comments from SuDS stated the scheme was adequate, however, Lincolnshire County Council had a preference of their ideal SuDS scheme. It was highlighted that Lincolnshire County Council would not be taking liability of SuDS for the scheme, if it was not adequate and fit for purpose.

A member commented whilst the Officer report stated Lincolnshire Wildlife Trust had no Comments, the online comment indicated the LWT reserved the ability to comment later.

Whilst members of the public had raised concerns regarding the use of employment land for the scheme it was pointed out that the application would provide a range of employment opportunities.

*(Councillor Tim Harrison abstained from the vote, due to the advice received from Lincolnshire County Council in relation to SuDS).*

It was proposed, seconded and **AGREED** to authorise the Assistant Director – Planning & Growth to **GRANT** reserved matters consent, subject to conditions:

### **Approved Plans**

- 1) The development hereby permitted shall be carried out in accordance with the following list of approved plans:
  - a. Application Document Schedule (Dated 16 June 2025)

Unless otherwise required by another condition of this permission.  
Reason: To define the permission and for the avoidance of doubt.

### **During Building Works**

*Design Quality and Visual Impact*

#### **Materials Sample**

- 2) Before any works above foundation level of any building hereby permitted are begun, a detailed specification of the materials (including the colour of render, paintwork or colourwash) to be used in the construction of the external surfaces of the development hereby permitted shall have been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 of the adopted Local Plan.

### **Before the Development is Operational**

#### *Design Quality and Visual Impact*

#### Materials Implementation

- 3) No building forming part of the development hereby permitted shall be first occupied / brought into use, until that building has been completed in accordance with the approved external materials details.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 of the adopted Local Plan.

### **15. Application S25/0259**

<b>Proposal:</b>	Application for the approval of reserved matters relating to appearance, landscaping, layout and scale for the erection of 167 dwellings (Use Class C3) pursuant to outline planning permission S20/2056
<b>Location:</b>	Land to the north of Barnack Road, Stamford
<b>Recommendation:</b>	To authorise the Assistant Director – Planning & Growth to GRANT reserved matters consent, subject to conditions

Noting comments in the public speaking session by:

Garry Goodwin, Group Planning & Design Director, Morris Homes  
Mark Flood, Director, Insight Town Planning Ltd on behalf of Burghley Land Ltd  
(both answering questions only)

Together with:

- Provisions within South Kesteven Local Plan 2011-2036, Stamford Neighbourhood Plan, Design Guidelines for Rutland and South Kesteven Supplementary Planning Document, National Planning Policy Framework (NPPF) and South Kesteven Local Plan Review 2021 – 2041.
- Comments received from Anglian Water.
- No comments received from Barnack Parish Council.
- No comments received from Gardens Trust.
- No comments received from Historic England.
- Comments received from Lincolnshire County Council (Highways & SuDS).
- No comments received from Lincolnshire Crime Prevention Officer
- Comments received from Lincolnshire Fire and Rescue
- No comments received from Lincolnshire Wildlife Trust.

- No comments received from Ministry of Defence – Defence Infrastructure Organisation.
- No comments received from Network Rail.
- Comments received from Peterborough City Council.
- Comments received from SKDC Conservation Officer.
- No comments received from SKDC Environmental Protection Officer.
- Comments received from SKDC Principal Urban Design Officer
- No comments received from St Martins Without Parish Council.
- Comments received from Stamford Civic Society.
- Comments received from Stamford Town Council.
- No comments received from Wothorpe Parish Council

During questions to Public Speakers, Members commented on:

- The provision of parking was queried per dwelling.

The Applicant clarified the larger houses would have double garages and double car parking spaces in front of the garages. 3-bedroom properties would have a garage and two spaces in front of the garage. It was noted that the scheme had dedicated on street visitor parking.

- Whether the market houses and affordable houses were distinguishable by design.

The development would be designed first and then the allocation of affordable housing would take place. There would be no distinguished character between the affordable and private housing.

The S106 agreement that applied to scheme from outline planning permission secures 30% affordable housing across the site and requires a submission of the affordable housing scheme and layout.

- The provision and location of a play area was queried.

A play area would form part of the sites village green and would be overlooked by a perimeter of housing and surrounded by planting and a low natural stone wall. Sustainable drainage features (e.g. open swales) would sit around the edges of the area. Play equipment would be designed in coalition with Burghley Estate.

- Whether NHS and education money contributions had been agreed.
- Whether Fire and Rescue were satisfied of the roads on site in terms of access and manoeuvrability.

The Applicant had worked closely with Highways on the site. All roads within the plan were adopted including private drives. This meant refuse vehicles and emergency services could access all areas of the site. Fire and access would be dealt within the Building Control process and comply with certain documents.

It was clarified that houses highlighted in yellow on the plan were different tenures of affordable housing. It was noted that clustering of affordable housing had a limit of no more than 15, these certain details were covered by planning obligation. The mix in the western cluster of houses was a 50/50 ration of affordable and private housing and were all of the same design.

- Whether the attenuation area would be filled with water or dry unless a high amount of rain.

The attenuation would be mostly dry. All dwellings and parking courts would have a sustainable drainage feature. There would be minimal surface water from the scheme overall, however the attenuation would store water in the event of super storms.

- Clarification was sought around the plans for the biodiversity net gain area.

The surface water features were shallow in depth and were designed to be gradual in their grade. The landscaping scheme and BNG areas would form part of the management and be maintained.

A number of submissions had been made for ecological planting within the open spaces to increase BNG %, which would be an over provision.

- Whether the dwellings would have solar panels.
- Whether a substation or pumping station green box would be sited on the development.

The Applicant highlighted that sustainability credentials of the development met the building regulation requirements. There was no gas on site, all properties would be fitted with air source heat pumps, have mechanical vent heat recovery systems and ventilation control. Solar panels would be fitted if required under policy and all properties would be fitted with an EV charging point.

A substation was designed within the scheme, it would be sited one side of a garage unit and built out of stone.

The pumping station would be sited on the Northern Railway boundary and was included within the landscaping scheme.

During questions to the Applicants agent, it was confirmed fire hydrants would be provided in appropriate locations throughout the housing development.

The Applicants agent confirmed all roads would be capable of taking the weight of a fire engine.

During question to Officers and debate, Members commented on:

- Whether the mitigation measures were sufficient in terms of noise, vibrations and pollution from the railway. It was felt that the layout of the residential amenity was within close proximity to commercial uses.

The Principal Development Management Planner confirmed condition 26 and 29 of the outline planning permission required a noise mitigation scheme and lighting strategy.

- Members commented on the quality of design of the scheme.
- Members welcomed on the extensive use of renewable energy throughout the majority of the scheme.

*(Councillor Tim Harrison abstained from the vote, due to the advice received from Lincolnshire County Council in relation to SuDS).*

It was proposed, seconded and **AGREED** to authorise the Assistant Director – Planning & Growth to **GRANT** reserved matters consent, subject to conditions:

### **Approved Plans**

- 4) The development hereby permitted shall be carried out in accordance with the following list of approved plans:
  - a. Application Document Schedule (Dated 16 June 2025)

Unless otherwise required by another condition of this permission.  
Reason: To define the permission and for the avoidance of doubt.

### **During Building Works**

*Design Quality and Visual Impact*

#### **Materials Sample**

- 5) Before any works above foundation level of any building hereby permitted are begun, a detailed specification of the materials (including the colour of render, paintwork or colourwash) to be used in the construction of the external surfaces of the development hereby permitted shall have been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 of the adopted Local Plan.

### **Before the Development is Operational**

*Design Quality and Visual Impact*

#### **Materials Implementation**

- 6) No building forming part of the development hereby permitted shall be first occupied / brought into use, until that building has been completed in accordance with the approved external materials details.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 of the adopted Local Plan.

*(The Committee had a 15-minute break).*

## 16. Application S25/0296

<b>Proposal:</b>	Application for the approval of reserved matters relating to appearance, landscaping, layout and scale for the erection of 150 residential units (Use Class C2), together with ancillary care, communal and wellbeing facilities pursuant to outline planning permission S20/2056
<b>Location:</b>	Land to the north of Barnack Road, Stamford
<b>Recommendation:</b>	To authorise the Assistant Director – Planning & Growth to GRANT reserved matters consent, subject to conditions

Noting comments in the public speaking session by:

Ellen Pearce, Head of Planning, Inspired Villages (Senior Living Stamford Ltd)  
Mark Flood, Director, Insight Town Planning Ltd on behalf of Burghley Land Ltd  
(both answering questions only)

Together with:

- Provisions within South Kesteven Local Plan 2011-2036, Stamford Neighbourhood Plan, Design Guidelines for Rutland and South Kesteven Supplementary Planning Document, National Planning Policy Framework (NPPF) and South Kesteven Local Plan Review 2021 – 2041.
- No comments received from Anglian Water.
- No comments received from Barnack Parish Council.
- No comments received from Environment Agency.
- No comments received from Gardens Trust.
- No comments received from Historic England.
- Comments received from Lincolnshire County Council (Highways & SuDS).
- No comments received from Lincolnshire Crime Prevention Officer
- Comments received from Lincolnshire Fire and Rescue
- No comments received from Lincolnshire Wildlife Trust.
- No comments received from Ministry of Defence – Defence Infrastructure Organisation.
- No comments received from Network Rail.
- Comments received from Peterborough City Council.

- Comments received from SKDC Conservation Officer.
- No comments received from SKDC Environmental Protection Officer.
- Comments received from SKDC Principal Urban Design Officer
- No comments received from St Martins Without Parish Council.
- Comments received from Stamford Civic Society.
- No comments received from Stamford Town Council.
- No comments received from Wothorpe Parish Council

During questions to Public Speakers, Members commented on:

- Whether there was any parking provision for the elderly residents and a storage facility for mobility scooters.

The Applicant confirmed there were 158 licensed car parking spaces for residents. The residents residing in the unit would be typically enter at 78 years old and bespoke parking data outlined only 70% of residents would arrive with a vehicle. Mobility scooters could be charged and stored within the cycle stores.

A village transport service would be facilitated to take residents where they wish to go within a certain radius, which could be pre-booked.

- Whether there was a proposal to have any health provisions on-site.

Residents would typically have a care package tailored to their own needs. The S106 agreement secured a healthcare contribution of a provision within two miles of the town centre of Stamford, which could include a digital consultation suite, new clinical administration room and expansion of new primary care facilities in Stamford.

- Whether the buildings would be designed in internal with a view to provide easy access for the elderly.

The proposed properties within the site were designed to be accessible and adaptable for aging communities.

- Whether the retired residents would have full use of the community room.

The community room would be open and accessible to any member of the public which would include classes for the elderly residents and wellness facilities.

- Clarification was sought around the age of the residents that would be residing within the proposed scheme.

The S106 agreement secures the occupants of the properties to be aged 55 or over who require a form of care.

- Whether the properties would be rented out or bought by the residents.

- Whether the Applicant (Inspire Villages) would deliver the car or whether this would be undertaken by another care company.

The Applicant confirmed the resident would have option to rent or purchase the property.

Inspired Villages worked in partnership with an agency in order to provide care to residents, however, residents had the opportunity to choose their own care provider.

- A query was raised on how the community clubhouse would be financed.

Residents would pay a service charge which would cover staffing measures, the fee would be non-profit making that would be put back into the village.

During question to Officers and debate, Members commented on:

- Whether the climate change provisions were similar to the rest of the site and whether the design of these particular properties would be distinguishable to other properties on the site and if there would be adequate signage and way finding.

It was clarified that although building materials would be similar, distinct character areas would distinguish each part of the scheme.

- Where there would be dedicated staff on the site 24 hours a day, due to the vulnerability of residents and how many.

The site would have a 24-hour response, where a member of staff is on the site each day, number of staff would vary throughout different periods. As the number of residents increase, so would the staff numbers. At day one, there would be 18 members of staff and would increase up to 25 staff members over time.

- Whether a provision for couriers or short-term parking had been considered.

Within the plan, a service and delivery area for commercial deliveries was proposed for the village.

- Clarification was sought whether any of the housing was affordable.

At outline stage, a financial viability exercise had taken place to assess the deliverability of the scheme as a whole. The exercise concluded that affordable housing would not be viable for the retirement village and did not require any affordable units within it.

- It was queried what work had been undertaken with the fire brigade, given the vulnerability of residents.

The Principal Development Management Planner clarified building regulations and requirements would be at the discretion of building control.

- Whether there would be any restrictions on pet ownership of residents.

Residents were able to bring any pets with them upon moving in.

- The location of the shop on site was queried.

A shop was located close by to the community clubhouse. Residents could access the shop via the village bus service or a 15-minute walk.

- Whether the provision of dropped kerbs would be implemented on site.

It was confirmed dropped kerbs would be implemented throughout the site to cater for mobility scooters. The site would also have traffic calmed areas where level access would be implemented.

- A member commented the application would bring further employment opportunity to the site.
- It was established the layout of the site meant the gym would be accessible to residents with minimal impact on their amenity.

*(Councillor Tim Harrison abstained from the vote, due to the advice received from Lincolnshire County Council in relation to SuDS).*

It was proposed, seconded and **AGREED** to authorise the Assistant Director – Planning & Growth to **GRANT** reserved matters consent, subject to conditions:

### **Approved Plans**

7) The development hereby permitted shall be carried out in accordance with the following list of approved plans:

a. Application Document List (Dated 19 June 2025) (Revision D)

b.

Unless otherwise required by another condition of this permission.

Reason: To define the permission and for the avoidance of doubt.

### **During Building Works**

*Design Quality and Visual Impact*

#### **Materials Sample**

8) Before any works above foundation level of any building hereby permitted are begun, a detailed specification of the materials (including the colour of render, paintwork or colourwash) to be used in the construction of the external surfaces of

the development hereby permitted shall have been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 of the adopted Local Plan.

### **Before the Development is Operational**

#### *Design Quality and Visual Impact*

#### Materials Implementation

- 9) No building forming part of the development hereby permitted shall be first occupied / brought into use, until that building has been completed in accordance with the approved external materials details.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 of the adopted Local Plan.

- 17. Any other business, which the Chairman, by reason of special circumstances, decides is urgent**

There were none.

- 18. Close of meeting**

The Chairman closed the meeting at 16:00.

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**SOUTH  
KESTEVEN  
DISTRICT  
COUNCIL**

## Planning Committee

31 July 2025



### S24/1453

Proposal:	Application for reserved matters relating to layout, scale, appearance, landscaping and access following outline planning permission S22/1065
Location:	The Gables, Honington Road, Barkston, Lincolnshire, NG32 2NG
Applicant:	Mr James Hodgkin
Agent:	Mr Tom Reeve, Reeve Architecture & Design
Application Type:	Reserved matters
Reason for Referral to Committee:	Called in by Council Ian Stokes citing concerns regarding loss of privacy, impact on the character of the area and highways safety
Key Issues:	<ul style="list-style-type: none"> <li>• Impact on the character and appearance of the area</li> <li>• Impact on neighbouring amenity</li> <li>• Highways safety and capacity</li> </ul>
Technical Documents:	

#### Report Author

Hannah Nouch, Development Management Planner



01476 406080



H.Nouch@southkesteven.gov.uk

**Corporate Priority:**

**Growth**

**Decision type:**

**Regulatory**

**Wards:**

**Peascliffe & Ridgeway**

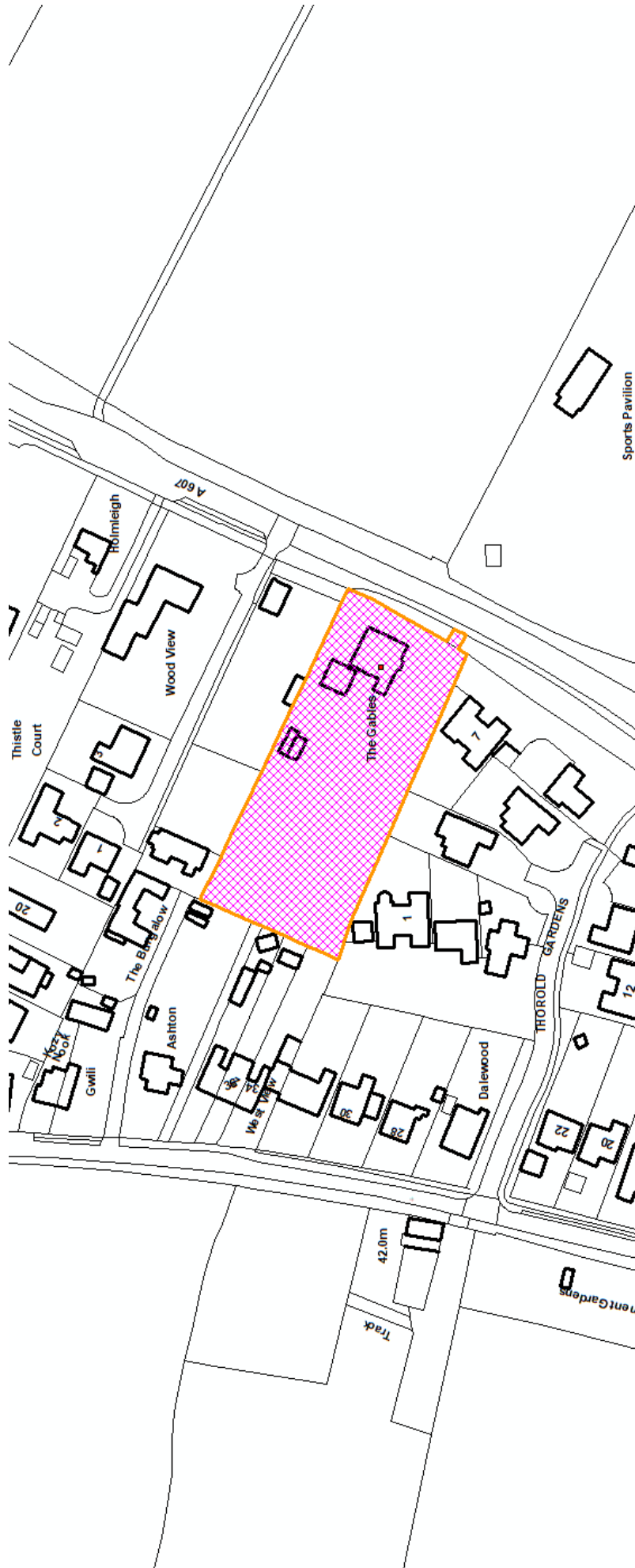
**Reviewed by:**

Adam Murray – Principal Development Management Planner

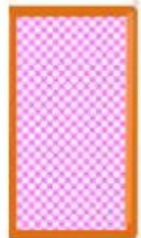
22 July 2025

#### Recommendation (s) to the decision maker (s)

To authorise the Assistant Director – Planning & Growth to GRANT reserved matters consent, subject to conditions



Key



Application  
Boundary



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## **1 Description of Site**

- 1.1 The application site lies to the western side of Honington Road, within the village of Barkston.
- 1.2 The application site hosts a single detached dwelling with an attached garage, accessed via Honington Road. The application site also includes a parcel of additional land to the rear of the residential curtilage, located to the west of the existing dwelling. A first-floor extension and internal and external alterations to the residential dwelling were approved conditionally under application S24/1155.
- 1.3 The site is situated within the main built-up part of the settlement of Barkston and lies within an area predominately characterised by residential properties, with residential neighbours located to the south, southwest and west. To the north, the site is bounded by a commercial site comprising of a car dealership lot. There is open countryside to the eastern side of Honington Road.

## **2 Description of the proposal**

- 2.1 This application is a reserved matters application following approval of outline planning permission S22/1065. Application S22/1065 granted permission for 'Outline Planning Permission for residential development, comprising five detached dwellings (all matters reserved)'. These reserved matters application is for matters relating to layout, scale, appearance, landscaping and access.
- 2.2 The 5 dwellings in this instance would include the existing dwelling on the plot, with 4 new dwellings proposed within the site. Each of the proposed dwellings would be two-storey in scale.

## **3 Relevant History**

- 3.1 S22/1065 – Outline Planning Permission – 'Outline Planning Permission for residential development, comprising five detached dwellings (all matters reserved)' – Approved Conditionally
- 3.2 S22/2073 – Full Planning Permission – 'Residential development comprising the erection of four detached dwellings and renovation/enlargement of existing dwelling' – Refused – Appeal Dismissed
- 3.3 S24/1155 – Householder Planning Permission – 'Proposed first floor extension and attached vehicular garage. Including internal and external alterations.' – Approved Conditionally

## **4 Relevant Planning Policies and Documents**

SKDC Local Plan 2011-2036

- Policy DE1 – Promoting Good Quality Design
- Policy SP3 – Infill Development
- Policy SB1 – Sustainable Building Measures
- Policy EN2 - Protecting Biodiversity and Geodiversity
- Policy EN5 - Water Environment and Flood Risk Management

National Planning Policy Framework (NPPF)

- Section 12 – Achieving well-designed places

- Section 9 - Promoting Sustainable Development
- Section 5 – Delivering a sufficient supply of homes

## **5 Representations Received**

5.1 This application has been advertised in accordance with the Council's Statement of Community Involvement and 2 letters of representation have been received. The points raised can be summarised as follows:

1. The refusal reasons for S22/2073 have not been overcome, with the appeal dismissal reasons also not being addressed in relation to the scheme having a poor relationship with neighbouring occupiers
2. 1 Thorold Gardens would have a poor relationship with Plot 3, with a high dominant side wall impacting on outlook and amenity to this property. The kitchen windows and conservatory to 1 Thorold Gardens would look onto Plot 3.
3. If there is to be heat pumps installed, why do the properties require chimneys?
4. There would be a gravel drive running alongside the southwestern boundary that would result in noise and dust disruption to the properties on Thorold Gardens
5. The scale, mass and height of the proposed dwellings would detrimentally impact neighbours
6. Overdevelopment of the site
7. Development insensitive to the setting of existing dwellings
8. Scale, mass and density are out of keeping with Barkston
9. Type of housing does not meet a local need
10. Proposal does not make a positive contribution to the local distinctiveness or character of the area

## **6 Representations as a Result of Publicity**

### **6.1 LCC Highways**

6.2 No objections

### **6.3 Parish Council**

6.4 The Parish Council has reviewed application and does not believe that the application has resolved the reasons that the original application 22/2073 was refused. The Parish Council is concerned that the number and size of the dwellings are cramped and out of keeping with the character of the area and has a detrimental impact on the surrounding properties.

6.5 None of the properties have Garages which would be expected for properties of this size and would also raise concerns that future residents would seek to build Garages which would further add to the cramped nature of the Application

### **6.6 Environmental Protection**

6.7 Environmental Protection has reviewed the documents in respect of the above application and has no further comment to make

## **7 Evaluation**

- 7.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that the Local Planning Authority makes decisions in accordance with the adopted Development Plan, unless material considerations indicate otherwise. In this case, the adopted development plan comprises of the following documents:
- South Kesteven Local Plan 2011-2036 (Adopted January 2020)
- 7.2 The Lincolnshire Minerals and Waste Local Plan forms part of the development plan in relation to minerals planning.
- 7.3 The policies and provisions set out in the National Planning Policy Framework are also a material consideration in the determination of planning applications, alongside the recently adopted Design Guidelines for Rutland and South Kesteven.
- 7.4 As of March 2025, the Council are presently unable to demonstrate a 5-year supply of housing land and as a result, the policies most important for determining the application are deemed to be out-of-date by virtue of footnote 8 and paragraph 11d) of the Framework. Paragraph 11d) requires that planning permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole; or where specific policies in The Framework, indicate that development should be restricted.
- 7.5 Principle of Development
- 7.6 The principle of development has already been established under the approved outline application S22/1065.
- 7.7 The purpose of this application is not to establish the acceptability in principle but to assess the acceptability of the reserved matters of S22/1065 against the site-specific criteria. This assessment is below.
- 7.8 Character and appearance of the area
- 7.9 Policy DE1 (Promoting Good Quality Design) of the adopted Local Plan states (amongst other criteria) that to ensure high quality design is achieved throughout the district, all development proposals will be expected to make a positive contribution to local distinctiveness, vernacular and character of the area. Proposals should reinforce local identity and not have an adverse impact on the street scene, settlement pattern or the landscape / townscape character of the surrounding area. Proposals should be of an appropriate scale, density, massing, height and material, given the context of the area. Part 12 of the NPPF (Achieving well-designed places) states that good design is a key aspect of sustainable development and new development should be visually attractive as a result of good architecture and appropriate landscaping.
- 7.10 Through the course of the application, amended plans have been received which sought to address concerns the LPA had over layout and design. The following assessment is based on the latest set of plans received.
- 7.11 The amendments have resulted in a less engineered site layout, with a more appropriate access road sited further away from the southwestern boundary and has resulted in integral garages so the parking for each dwelling is not reliant in what has appeared as turning heads at each property.

- 7.12 The inspectors report for the appeal decision on the same site under appeal reference APP/E2530/W/23/3329312 for refused application S22/2073 noted as part of the assessment that the refused scheme:
- 7.13 *'The proposed layout of the dwellings would appear cramped and of high density, and therefore the proposed layout would be out of keeping with surrounding dwellings which are generally set back from the street by generous front gardens'*
- 7.14 The proposed layout has been amended since this refused application, with what now is considered to be a more considered and appropriate site layout, which would appear less cramped and high density than the previously refused scheme.
- 7.15 The dwellings themselves would be two storeys in height which is not dissimilar to the scale of the existing dwellings within the immediate area. The existing dwelling on site has recently achieved permission for a first floor, which it is demonstrated on the plans. Creating a closer relationship in scale between this frontage dwelling and the 4 new dwellings to the rear. The height of the proposed dwellings is considered to be an acceptable scale in the context.
- 7.16 The proposed materials are indicated to be a mix of 'Bradstone Traditional' in 'Buff' and 'Imperial Olde Reclamation Shire' brick for the walling. The roofing material is proposed as concrete double pantiles in 'Rustic'. These materials are considered to be acceptable and therefore have been conditioned accordingly.
- 7.17 There were concerns raised that the proposal would result in an overdevelopment of the site, however each of the plots would be accompanied by a sufficient level of outdoor amenity space, have clear separation from each boundary and the other dwellings. Furthermore, there would be areas within the site, to either side of the amended access road, that would be soft landscaped and undeveloped ensuring both from the street view and within the site, there built form is not sprawling across the whole site.
- 7.18 By virtue of the design, scale and materials to be used, the proposal would be in keeping with the host dwelling, street scene and surrounding context in accordance with the NPPF Section 12, and Policy DE1 of the Local Plan.
- 7.19 Neighbours' residential amenities
- 7.20 Policy DE1 (Promoting Good Quality Design) of the adopted Local Plan states (amongst other criteria) that all development proposals will be expected to ensure there is no adverse impact on the amenity of neighbouring users in terms of noise, light pollution, loss of privacy and loss of light and provides sufficient private amenity space, suitable to the type and amount of development proposed. Paragraph 135 of the NPPF states that developments should create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.
- 7.21 The concerns raised in relation to the relationship between 1 Thorold Gardens and proposed Plot 1 are noted. There is no right to a private view, and there would be sufficient separation between the proposed windows of concern to No.1 Thorold Gardens and the nearest elevation of Plot 1 for there to be no unacceptable level of impact by way of overshadowing and dominance.
- 7.22 The proposed 4 new dwellings would be positioned as such that they would not result in any harm to the future occupiers by way of their interrelationship.

- 7.23 It is acknowledged that the relationship between the existing dwelling and Plot 1 would result in a level of overlooking to Plot 1's rear amenity space as a result of the dormer windows and first floor accommodation granted permission to the existing dwelling. The dormer windows would predominantly look onto the side elevation of Plot 1, with the overlooking to Plot 1 not considered to be to an unacceptable level based on the oblique angle and proposed separation distances.
- 7.24 The access drive was originally proposed to run parallel to the southwestern elevation and was situated closer to this boundary than the amended plans. Whilst it is noted there may be a level of resulting noise and dust impact to the properties on Thorold Gardens, this would be a modest amount that would be focused away from their main amenity areas and would not warrant refusal of this application.
- 7.25 Taking into account the nature of the proposal, small scale, and adequate separation distances, it is considered that there would be no unacceptable adverse impact on the residential amenities of the occupiers of adjacent properties in accordance with the NPPF Section 12, and Policy DE1 of the Local Plan.
- 7.26 Highways Impacts
- 7.27 Paragraph 116 of the NPPF advises that development should only be prevented or refused on transport grounds where the residual cumulative impacts of development are severe.
- 7.28 The proposal would consist of the closure of the existing access from Honington Road and the introduction of a new access point further southwest, that would lead onto a private access road serving each of the 5 dwellings.
- 7.29 Lincolnshire County Council as the Highways Authority raise no objections to the formation of the new access or based on parking provision.
- 7.30 The amended plans received include integral garages for each property that could accommodate 2 cars. There is sufficient parking provision for the proposed dwellings.
- 7.31 The proposal would result in adequate access, parking and turning facilities and would not have an unacceptable adverse impact on highway safety in accordance with the NPPF Section 9.
- 7.32 Ecology and Biodiversity
- 7.33 Local Plan Policy EN2 seeks to ensure the conservation and enhancement of ecological networks and deliver a net gain in biodiversity for all development proposals.
- 7.34 Additionally, Biodiversity Net Gain (BNG) became mandatory on all small sites on 2 April 2024 unless relevant exemptions apply. In the case of this application, it is for reserved matters to a previously approved outline planning permission that was submitted and approved prior to the introduction of the BNG requirement. Therefore, this application is exempt from the BNG requirement.
- 7.35 Nevertheless, Policy EN2 would still be applicable.
- 7.36 There would not be a biodiversity net gain achieved on the site due to the nature of the proposal, however there would be soft landscaping provided as part of the scheme. Low level hedging would act to provide potential habitats on site. Given the location of the site, with the open countryside to the eastern side, it is considered appropriate the condition the provision of bat and bird boxes on the site, to allow for potential habitats to be incorporated

and promote biodiversity within the site. A condition would therefore be attached requiring each dwelling to incorporate at least 1 bat box and 1 bird box prior to occupation.

#### 7.37 Flood Risk and Drainage

7.38 The application site is located within Flood Zone 1, with a low risk of fluvial flooding. The flood maps show that the site is shown to have a very low risk of surface water flooding. The proposed drainage was specified as to be via soakaway under the outline application, which is acceptable in principle and the details of which can be considered under the appropriate building regulations process.

#### 7.39 Climate Change

7.40 The proposal would be located within a sustainable location and would incorporate various sustainable measures as detailed within the sustainability statement and detailed on the illustrative SB1 plan, that shows the location of the proposed solar panels and EV charging points.

7.41 Conditions on the outline planning permission would ensure compliance with these approved details.

The proposal is considered to accord with Policies SD1 and SB1 of the SKDC Local Plan.

#### 7.42 **Crime and Disorder**

7.43 It is considered that the proposal would not result in any significant crime and disorder implications.

#### 7.44 **Human Rights Implications**

7.45 Articles 6 (Rights to fair decision making) and Article 8 (Right to private family life and home) of the Human Rights Act have been taken into account in making this recommendation. It is considered that no relevant Article of that act will be breached.

#### 7.46 **Conclusion**

7.47 Taking the above into account, it is considered that the proposal is appropriate for its context and is in accordance with the NPPF (Sections 9 and 12) and Policies DE1 and SP3 of the South Kesteven Local Plan. There are no material considerations that indicate otherwise although conditions have been attached.

### **8 Recommendation**

8.1 To authorise the Assistant Director – Planning to GRANT planning permission subject to the recommended schedule of conditions.

## 8.2 **Approved Plans**

1) The development hereby permitted shall be carried out in accordance with the following list of approved plans:

- i. Site Location Plan re. 2237SP01 received 21 August 2025
- ii. Proposed Block Plan re. 2237SP03 REV 05 received 23 May 2025
- iii. Proposed Landscaping Plan re. 2237SP04 REV 05 received 23 May 2025
- iv. Proposed SB1 Illustrative plan re. 2237SP05 REV 05 received 23 May 2025
- v. Plot 1 and 2 South and North Elevation re. 2237P1 01 REV 01 received 23 May 2025
- vi. Plot 1 and 2 East and West Elevation re. 2237P1 02 REV 01 received 23 May 2025
- vii. Plot 1 and 2 Ground Floor Plan re. 2237P1 03 REV 01 received 23 May 2025
- viii. Plot 1 and 2 First Floor Plan re. 2237P1 04 REV 01 received 22 July 2025
- ix. Plot 3 and 4 East and West Elevation re. 2237P3 01 REV 01 received 22 July 2025
- x. Plot 3 and 4 North and South Elevation re. 2237P3 02 REV 01 received 22 July 2025

Unless otherwise required by another condition of this permission.

Reason: To define the permission and for the avoidance of doubt.

## 8.3 **Before the development is occupied**

2) Prior to the occupation of the dwelling hereby permitted, 1 bird box and 1 bat box shall have been installed for each dwelling.

Reason: To support biodiversity provision on site in line with Policy EN2 of the SKDC Local Plan.

3) Before any part of the development hereby permitted is occupied, the works to provide the boundary treatments shall have been completed in accordance with the approved boundary treatment details on 'Proposed Landscaping Plan' re. 2237SP04 REV 05 and 'Proposed Materials Plan' re. 2237SP06.

Reason: To provide a satisfactory appearance to any boundary treatments and by screening rear gardens from public view, in the interests of the privacy and amenity of the occupants of the proposed and neighbouring dwellings and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

4) Before any part of the development hereby permitted is occupied, the external surfaces shall have been completed in accordance with the 'Proposed Materials Plan' re. 2237SP06.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

- 5) Before any part of the development hereby permitted is occupied, all hard and soft landscape works shall have been carried out in accordance with the approved hard and soft landscaping details shown on 'Proposed Landscaping Plan' re. 2237SP04 REV 05.

Reason: Hard and soft landscaping and tree planting make an important contribution to the development and its assimilation with its surroundings and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

- 6) Before the end of the first planting/seeding season following the occupation/first use of any part of the development hereby permitted, all soft landscape works shall have been carried out in accordance with the approved soft landscaping details.

Reason: Soft landscaping and tree planting make an important contribution to the development and its assimilation with its surroundings and in accordance with Policies DE1, EN3 and OS1 of the adopted South Kesteven Local Plan.

- 7) The approved sustainable building measures detailed within the Sustainability Statement received 21 August and 'Proposed SB1 Illustrative Plan' re. 2237SP05 REV 05 and shall be completed in full, in accordance with the agreed scheme prior to the first dwelling hereby permitted is occupied.

Reason: To ensure the development mitigates and adapts climate change in accordance with Local Plan Policy SB1 and SD1

#### 8.4 **Ongoing Conditions**

- 8) Within a period of five years from the first occupation of the final dwelling/unit of the development hereby permitted, any trees or plants provided as part of the approved soft landscaping scheme, that die or become, in the opinion of the Local Planning Authority, seriously damaged or defective, shall be replaced in the first planting season following any such loss with a specimen of the same size and species as was approved in condition above unless otherwise agreed by the Local Planning Authority.

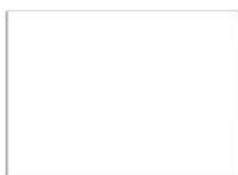
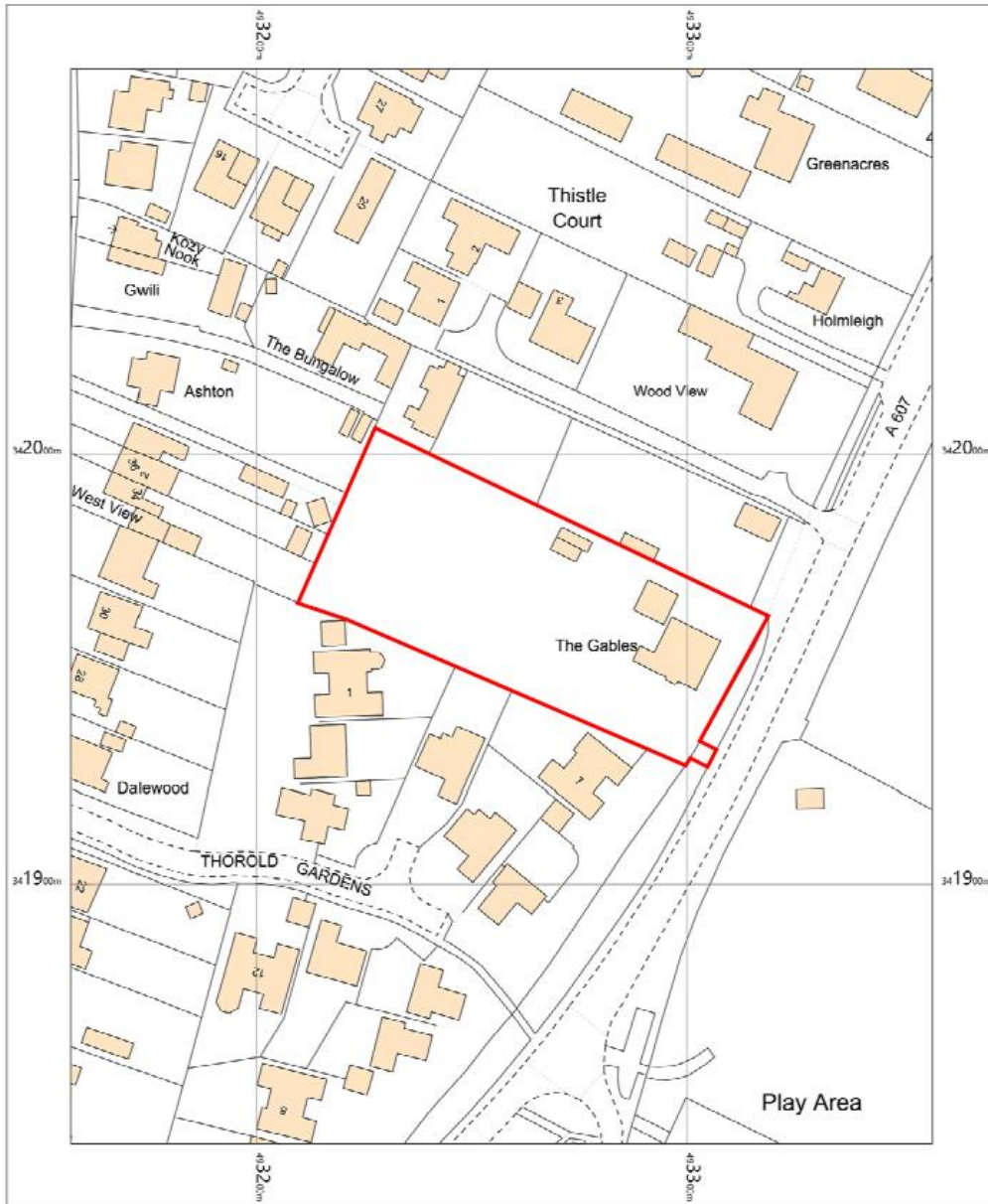
Reason: To ensure the provision, establishment and maintenance of a reasonable standard of landscape in accordance with the approved designs and in accordance with Policies DE1, EN3 and OS1 of the adopted South Kesteven Local Plan.

**Financial Implications reviewed by: Not applicable**

**Legal Implications reviewed by: Not applicable**

Location Plan

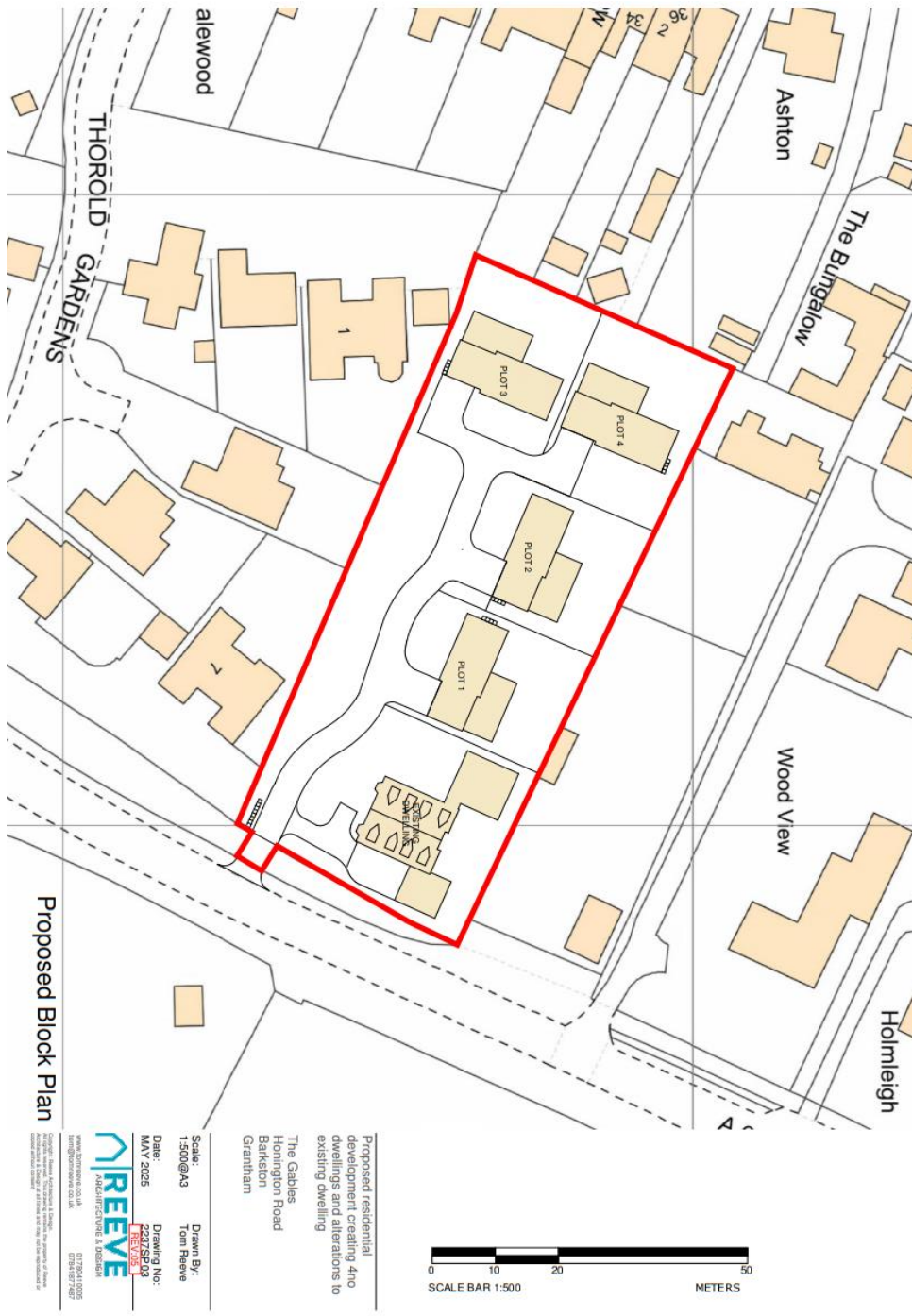
# Location Plan



1:1250 scale      Centre: 493257 E, 341965 N  
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## Proposed Block Plan



Proposed Landscaping Plan



**Proposed Landscaping Plan**

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SCALE BAR 1:500 METERS

**Holmleig KEY**

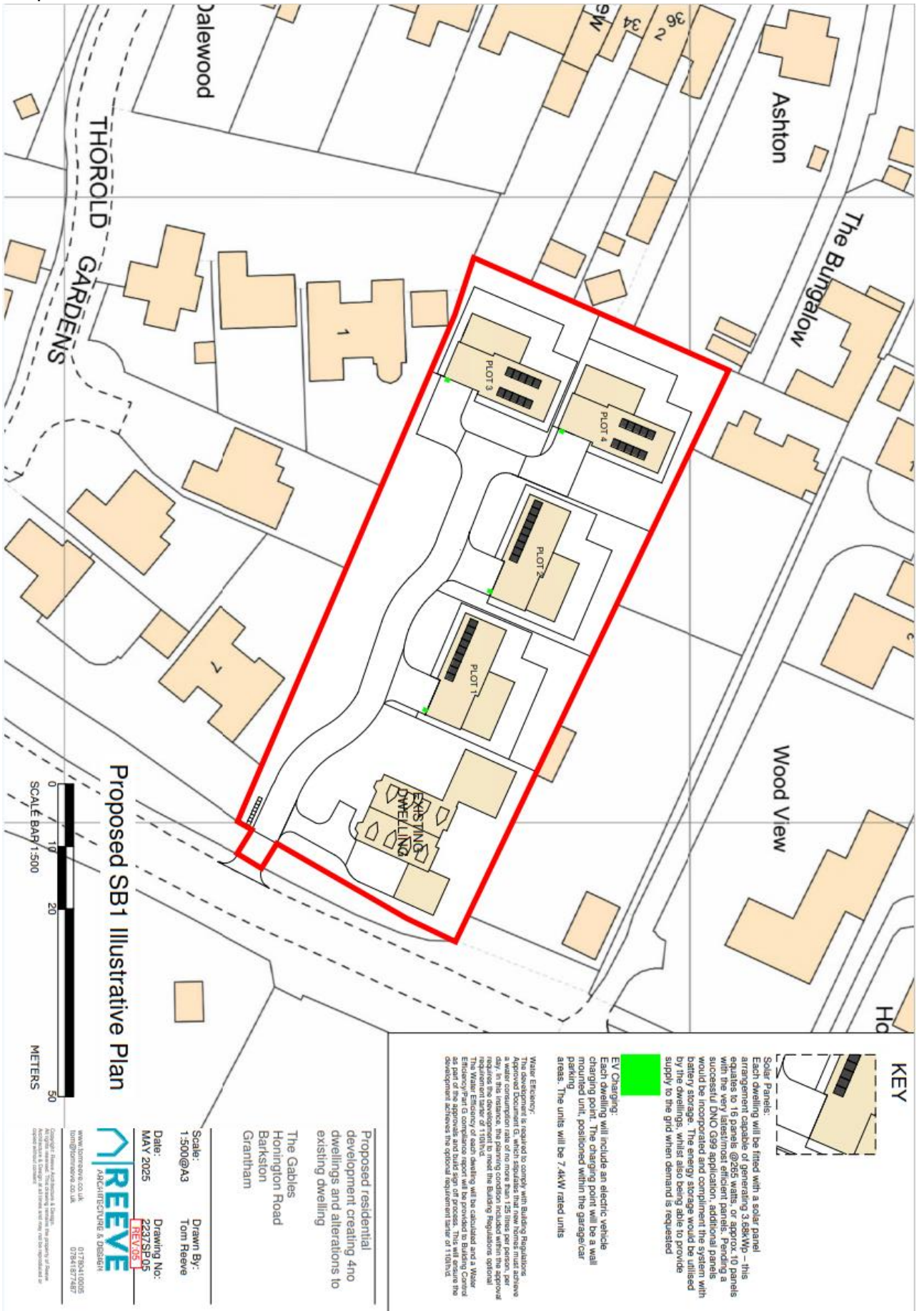
- Tarmacadam
- Gravel
- Block Paving SUDS-compliant
- Sandstone Flags SUDS-compliant
- Grass A2 seed mix to all private gardens
- Grass A19 seed mix to all other areas
- 6ft high pressure treated closeboard fencing
- Low level hedgerow

Proposed residential development creating 4 no dwellings and alterations to existing dwelling

The Gables  
Hornington Road  
Barkston  
Grantham

Scale: 1:5000@A3  
Drawn By: Tom Reeve  
Date: MAY 2025  
Drawing No: 2237SP04 REV 05  
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Proposed SB1 Illustrative Plan



Proposed SB1 Illustrative Plan

SCALE BAR 1:500

0 10 20 50 METERS



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07841877487

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Date: MAY 2025  
Drawing No: 228/20/05 REV 002

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Proposed residential development creating 4no dwellings and alterations to existing dwelling

The Gables  
Honington Road  
Barkston  
Grantham

KEY

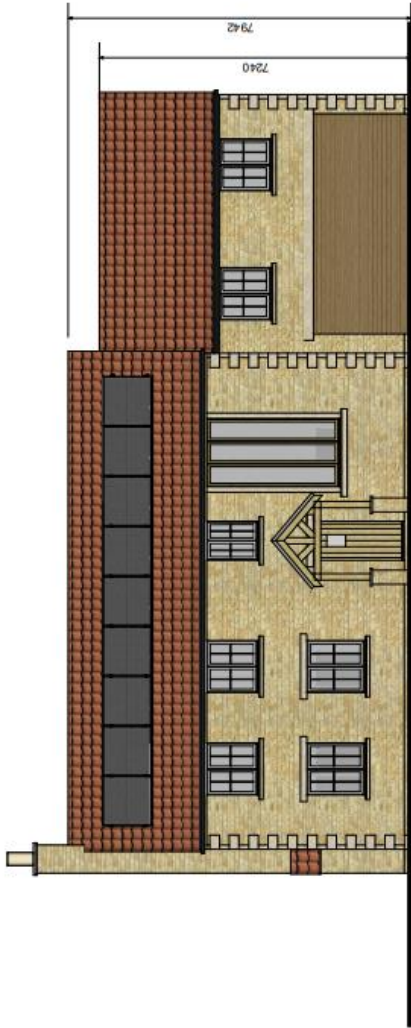


**Solar Panels:**  
Each dwelling will be fitted with a solar panel arrangement capable of generating 3.68kWp – this equates to 16 panels @255 watts, or approx. 10 panels with the very latest most efficient panels. Pending a successful DNO Gas application, additional panels would be incorporated and complement the system with battery storage. The energy storage should be utilised by the dwellings, whilst also being able to provide supply to the grid when demand is requested.

**EV Charging:**  
Each dwelling will include an electric vehicle charging point. The charging point will be a wall mounted unit, positioned within the garage/car areas. The units will be 7.4kW rated units.

**Water Efficiency:**  
The development is required to comply with Building Regulations Approved Document G, which stipulates that new homes must achieve a water consumption rate of no more than 125 litres per person per day. The development will be designed to meet the Building Regulations optional requirement target of 110lit/d.  
The Water Efficiency of each dwelling will be calculated and a Water Efficiency Score will be provided. The Water Efficiency Score will be included as part of the approvals and build sign off process. This will ensure the development achieves the optional requirement target of 110lit/d.

Plot 1 and 2 South and North Elevation



PLOT 1 & 2 SOUTH ELEVATION



PLOT 1 & 2 NORTH ELEVATION



Proposed residential development creating 4 no dwellings and alterations to existing dwelling

The Gables  
Honington Road  
Barkston  
Grantham

Scale: 1:100@A3  
Drawn By: Tom Reeve

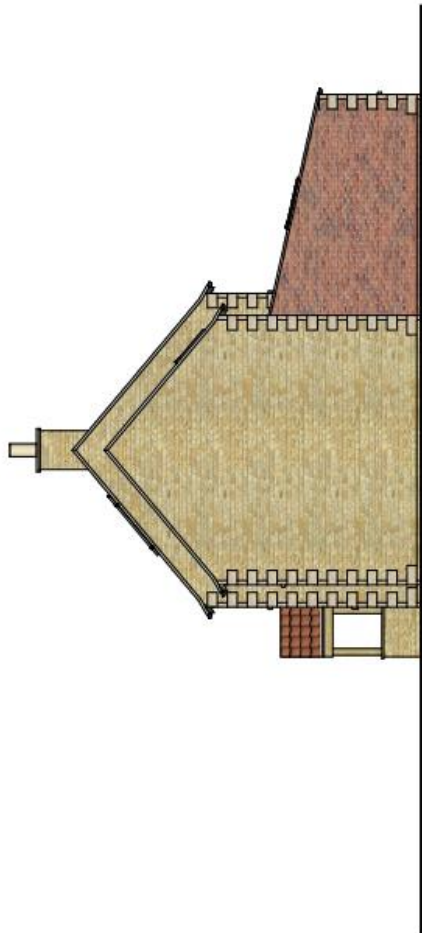
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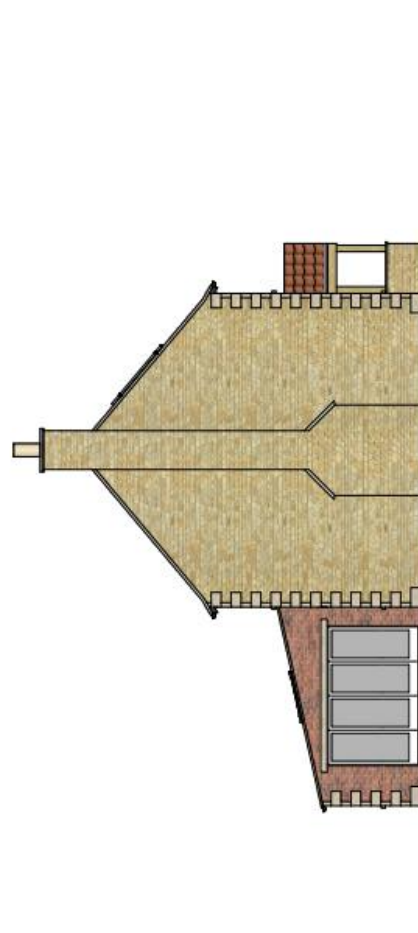
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# Plot 1 and 2 East and West Elevation



PLOT 1 & 2 EAST ELEVATION



PLOT 1 & 2 WEST ELEVATION



Proposed residential development creating 4 no dwellings and alterations to existing dwelling

The Gables  
 Honington Road  
 Barksdon  
 Grantham

Scale: 1:100@A3  
 Drawn By: Tom Reeve

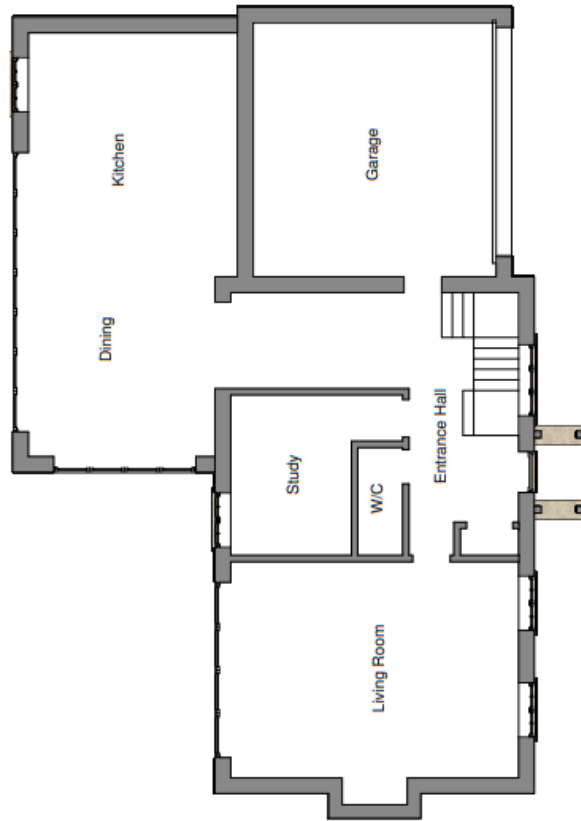
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# Plot 1 and 2 Ground Floor



PLOT 1 & 2 GROUND FLOOR PLAN

Proposed residential development creating 4 no dwellings and alterations to existing dwelling

The Gables  
Hornington Road  
Barkston  
Grantham

Scale: 1:100@A3  
Drawn By: Tom Reeve

Date: MAY 2025  
Drawing No: 2237P1 03



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SCALE BAR 1:100 METERS

# Plot 1 and 2 First Floor Plan



PLOTS 1 & 2 FIRST FLOOR PLAN

Proposed residential development creating 4 no dwellings and alterations to existing dwelling

The Gables  
 Honington Road  
 Barkston  
 Grantham

Scale: 1:100@A3  
 Drawn By: Tom Reeve  
 Date: MAY 2025  
 Drawing No: 2237P1\_04  
**REV 01**



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Plot 3 and 4 East and West Elevation



PLOTS 3 & 4 EAST ELEVATION



PLOTS 3 & 4 WEST ELEVATION



Proposed residential development creating 4no dwellings and alterations to existing dwelling

The Gables  
 Honington Road  
 Barkston  
 Grantham

Scale: 1:100@A3  
 Drawn By: Tom Reeve

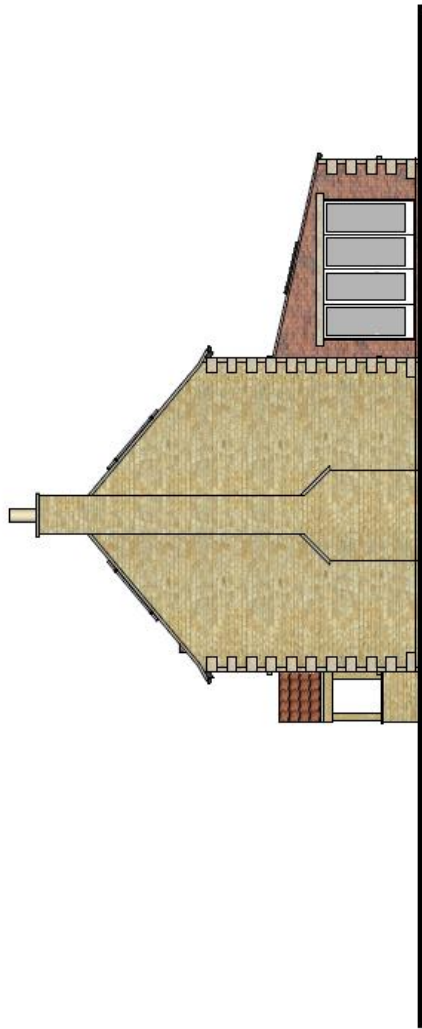
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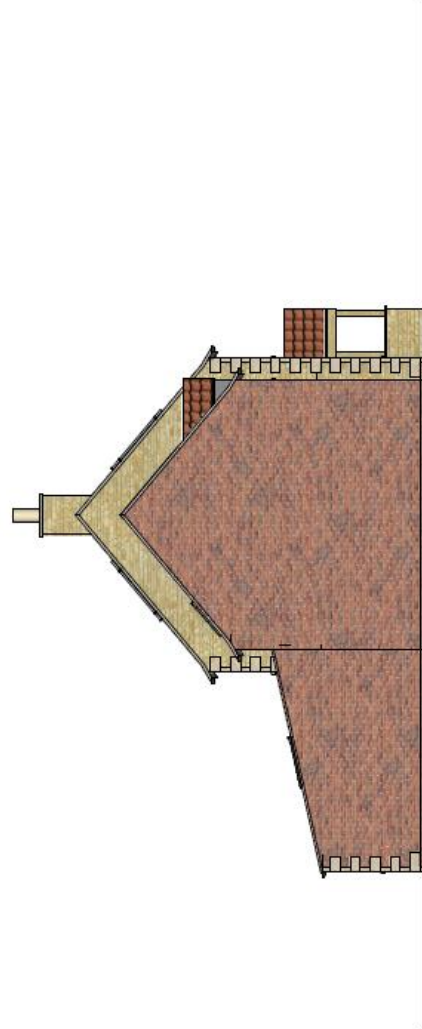
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Plot 3 and 4 North and South Elevation



PLOT 3 & 4 NORTH ELEVATION



PLOT 3 & 4 SOUTH ELEVATION



Proposed residential development creating 4no dwellings and alterations to existing dwelling

The Gables  
 Hornington Road  
 Barkston  
 Grantham

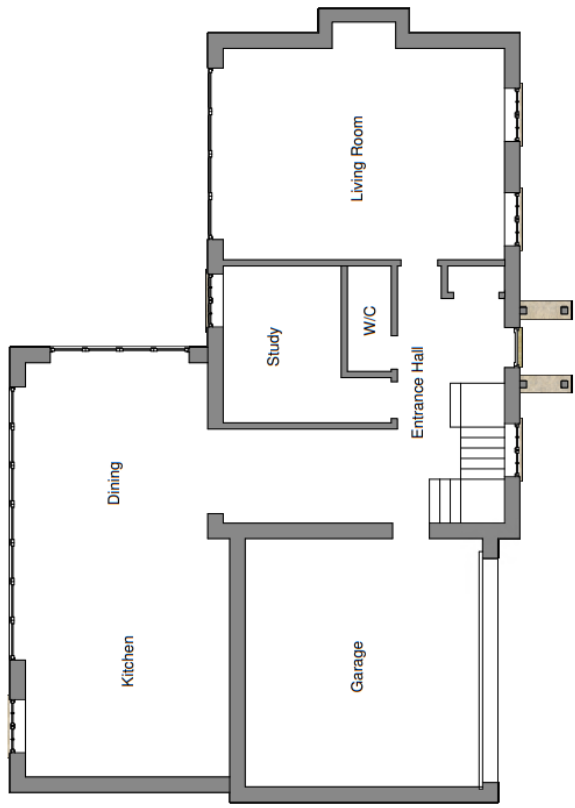
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# Plot 3 & 4 Ground Floor Plan



PLOT 3 & 4 GROUND FLOOR PLAN

Proposed residential development creating 4 no dwellings and alterations to existing dwelling

The Gables  
 Honington Road  
 Barkston  
 Grantham

Scale: 1:100@A3

Drawn By: Tom Reeve

Date: MAY 2025

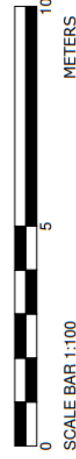
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REV 01

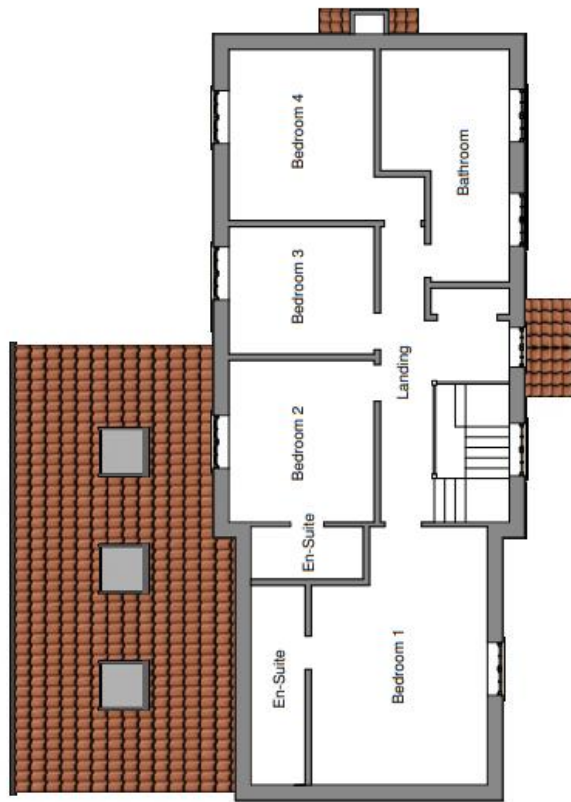


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# Plot 3 and 4 First Floor Plan



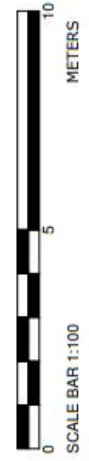
PLOT 3 & 4 FIRST FLOOR PLAN

Proposed residential development creating 4 no dwellings and alterations to existing dwelling

The Gables  
 Honington Road  
 Barksdon  
 Grantham

Scale: 1:100@A3  
 Drawn By: Tom Heeve  
 Date: MAY 2025  
 Drawing No: 2237P304  
 REV 01

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**South Kesteven District Council**

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SOUTH  
KESTEVEN  
DISTRICT  
COUNCIL

Mr Tom Reeve  
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Lincolnshire  
NG33 4PP

**OUTLINE PLANNING PERMISSION**

Town and Country Planning Act 1990

Application No:	S22/1065
Date Received:	24th May 2022
Applicant:	Jr James Hodgkin
Proposal:	Outline Planning Permission for residential development, comprising five detached dwellings (all matters reserved)
Location:	The Gables Honington Road Barkston Lincolnshire NG32 2NG
Decision/Date	20th July 2022

South Kesteven District Council has considered this application under the Town and Country Planning Act 1990 (as amended) and **Grants Planning Permission** for the development described above.

This permission is granted subject to the following Conditions and Reasons which are laid out in the order by which they must be complied with:-

Time Limit for Commencement

1. Details of the reserved matters set out below shall have been submitted to the Local Planning Authority for approval within three years from the date of this permission:

- i. layout
- ii. scale
- iii. appearance
- iv. access
- v. landscaping

Approval of all reserved matters shall have been obtained from the Local Planning Authority in writing before any development is commenced.

Reason: To enable the Local Planning Authority to control the development in detail and in order that the development is commenced in a timely manner, as set out in Section 92 of the Town and Country Planning Act 1990 (as amended).

... Continued

- 
2. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission or two years from the approval of the last of the reserved matters, whichever is the latter.

Reason: In order that the development is commenced in a timely manner, as set out in Section 92 of the Town and Country Planning Act 1990 (as amended).

#### Approved Plans

3. The development hereby permitted shall be carried out in accordance with the following list of approved plans:-

1. Drawing No: 223701 Rev: 02 - Site Location Plan (Received on 24 May 2022)

Unless otherwise required by another condition of this permission.

Reason: To define the permission and for the avoidance of doubt.

#### Before the Development is Commenced

4. Before the development hereby permitted is commenced, a written scheme of archaeological investigation shall have been submitted to and approved in writing by the Local Planning Authority. The scheme of works should include:

- Archaeological monitoring and recording during development groundworks which should involve monitoring of all groundworks, with the ability to stop and fully record archaeological features.

Reason: In order to provide a reasonable opportunity to record the history of the site and in accordance with Policy EN6 of the adopted South Kesteven Local Plan and the NPPF (section 16).

5. No development shall take place until a Construction Management Plan and Method Statement has been submitted to and approved in writing by the Local Planning Authority which shall indicate measures to mitigate against traffic generation and drainage of the site during the construction stage of the proposed development.

The Construction Management Plan and Method Statement shall include:

- phasing of the development to include access construction;
- the parking of vehicles of site operatives and visitors;
- loading and unloading of plant and materials;
- storage of plant and materials used in constructing the development;
- wheel washing facilities;
- the routes of construction traffic to and from the site including any off-site routes for the disposal of excavated material and;
- strategy stating how surface water run off on and from the development will be managed during construction and protection measures for any sustainable drainage features. This should include drawing(s) showing how the drainage systems (permanent or temporary) connect to an outfall (temporary or permanent) during construction.

The Construction Management Plan and Method Statement shall be strictly adhered to throughout the construction period.

... Continued

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Reason: To ensure that the permitted development is adequately drained without creating or increasing flood risk to land or property adjacent to, or downstream of, the permitted development during construction and to ensure that suitable traffic routes are agreed.

Before the Development is Occupied

6. The archaeological investigations shall have been completed in accordance with the approved Written Scheme of Investigation before development commences.

Reason: In order to provide a reasonable opportunity to record the history of the site and in accordance with Policy EN6 of the adopted South Kesteven Local Plan and Paragraph 199 of the NPPF.

Ongoing Conditions

7. When an application is made for approval of Reserved Matters, details indicating the heights, positions, design, materials and type of boundary treatment to be erected, or retained, shall have been submitted to and approved in writing by the Local Planning Authority. The boundary treatments shall be completed in accordance with these approved details and shall thereafter be retained as such for the lifetime of the development.

Reason: To provide a satisfactory appearance to any boundary treatments and by screening rear gardens from public view, in the interests of the privacy and amenity of the occupants of the proposed and neighbouring dwellings and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

8. Within a period of five years from the first occupation of the final dwelling of the development hereby permitted, any trees or plants provided as part of the approved soft landscaping scheme, that die or become, in the opinion of the Local Planning Authority, seriously damaged or defective, shall be replaced in the first planting season following any such loss with a specimen of the same size and species as was approved under the above condition, unless otherwise agreed by the Local Planning Authority.

Reason: To ensure the provision, establishment and maintenance of a reasonable standard of landscaping in accordance with the approved designs and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

9. When an application is made for approval of Reserved Matters, details of the materials (including the walling materials, roofing materials and boundary wall) to be used in the construction of the external surfaces, shall be submitted to and approved in writing by the Local Planning Authority. The external surfaces shall be completed in accordance with the approved details, prior to the first occupation of the dwelling.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

... Continued

10. When an application is made for approval of Reserved Matters, details demonstrating how the proposed dwellings would comply with the requirements of Local Plan Policy SB1 must be submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of how carbon dioxide emissions would be minimised through the design and construction of the building; details of water efficiency; and the provision of electric car charging points.

The approved sustainable building measures shall be completed in full, in accordance with the agreed scheme, prior to the first occupation of each dwelling hereby permitted.

Reason: To ensure the development mitigates and adapts climate change in accordance with Local Plan Policy SB1.

11. Within seven days of the new access being brought into use, the existing access onto Honington Road shall be permanently closed in accordance with details to be agreed in writing with the Local Planning Authority.

Reason: To reduce to a minimum, the number of individual access points to the site, in the interests of road safety and in accordance with NPPF Section 9.

**Standard Note(s) to Applicant:**

1. This consent applies only to that required by the Town and Country Planning Acts and does not include any permission or approval under any other enactment, bylaw or regulation.
2. Your attention is drawn to the attached notes explaining your rights of appeal regarding this decision.
3. The permission to which this notice refers MAY contain the requirement to comply with certain conditions PRIOR to any works being commenced, as well as conditions to be met DURING and AFTER the completion of the development. You are hereby advised that non-compliance with ANY condition may render this permission invalid and the development itself UNLAWFUL and could lead to enforcement action and/or prosecution. It is YOUR responsibility to ensure that all conditions are complied with. If you are in any doubt as to the requirements established by any condition attached to this permission, you are strongly advised to contact South Kesteven District Council Development Management for clarification prior to the commencement of any works.
4. The approval of details reserved by any condition(s) (discharge of condition(s)) is now treated as a formal application and as such requires a fee.
5. In reaching the decision the Council has worked with the applicant in a positive and proactive manner by determining the application without undue delay. As such it is considered that the decision is in accordance with paras 38 of the National Planning Policy Framework.
6. Please contact the Lincolnshire County Council Streetworks and Permitting Team on 01522 782070 to discuss any proposed statutory utility connections and any other works which will be required within the public highway in association with the development permitted under this Consent. This will enable Lincolnshire County Council to assist in the coordination and timings of these works.  
For further guidance please visit our website via the following links:  
Traffic Management - <https://www.lincolnshire.gov.uk/traffic-management>  
Licences and Permits - <https://www.lincolnshire.gov.uk/licences-permits>

... Continued

7. The road serving the permitted development is approved as a private road which will not be adopted as a Highway Maintainable at the Public Expense (under the Highways Act 1980). As such, the liability for the future maintenance of the road will rest with those who gain access to their property from it.
8. The permitted development requires the formation of a new/amended vehicular access. These works will require approval from the Highway Authority in accordance with Section 184 of the Highways Act. The works should be constructed in accordance with the Authority's specification that is current at the time of construction. Relocation of existing apparatus, underground services or street furniture will be the responsibility of the applicant, prior to application. For application guidance, approval and specification details, please visit <https://www.lincolnshire.gov.uk/licences-permits/apply-dropped-kerb> or contact [vehiclecrossings@lincolnshire.gov.uk](mailto:vehiclecrossings@lincolnshire.gov.uk).

**Emma Whittaker**  
**Assistant Director Of Planning**  
**20th July 2022**



**SOUTH  
KESTEVEN  
DISTRICT  
COUNCIL**

## Planning Committee

31<sup>st</sup> July 2025



## S25/0672

**Proposal:** Proposed change of use of outbuildings to short term holiday accommodation  
**Location:** Fortescue Arms, 27 High Street, Billingborough, NG34 0QB  
**Applicant:** Mr James Waddington  
**Agent:** Serviam Planning  
**Application Type:** Full Planning Permission  
**Reason for Referral to Committee:** Called in by Councillor Murray Turner citing concerns about the impact on the continued operations of the pub.  
**Key Issues:**

- Character and appearance of the area
- Neighbours' residential amenities
- Heritage Asset
- Highway Impacts
- Community facility

Technical Documents:

### Report Author

Hannah Nouch, Development Management Planner



01476 406080



H.nouch@southkesteven.gov.uk

**Corporate Priority:**

**Growth**

**Decision type:**

**Regulatory**

**Wards:**

**Toller**

**Reviewed by:**

Adam Murray – Principal Development Management Planner

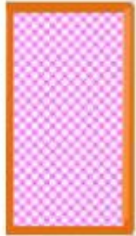
22 July 2025

### Recommendation (s) to the decision maker (s)

To authorise the Assistant Director – Planning & Growth to GRANT planning permission, subject to conditions.



**Application Boundary**



Key

## **1 Description of Site**

- 1.1 The application site hosts Fortescue Arms, a public house located on High Street in the village of Billingborough. The area within the site that is the focus of the application being the detached range of outbuildings to the east of the site.
- 1.2 Fortescue Arms is a Grade II listed building and the outbuilding range to the rear of the main building is curtilage listed. The site falls within the Billingborough Conservation Area.
- 1.3 The outbuilding range is predominantly single storey in scale; however, the central section does host a higher roof ridge and hosts an atrium.

## **2 Description of Proposal**

- 2.1 The proposal relates to a change of use of the range to the rear from storage purposes in association with the public house to short-term holiday accommodation to be used in conjunction with the public house. The conversion works would include introducing first floor accommodation to the previous atrium area of Store 2.
- 2.2 There is a total of 6 rooms proposed for the holiday accommodation, with all the rooms at ground level except for room 3. A new opening would be created, and an integral staircase would be introduced to allow access to the first floor.
- 2.3 Rooms 1, 2, 3 are proposed as double rooms with a sofa bed, rooms 4 and 5 are proposed as single rooms and room 6 would be a double room. Each room would host an en-suite.

## **3 Relevant History**

- 3.1 There is no relevant planning history on the site

## **4 Relevant Planning Policies and Documents**

SKDC Local Plan 2011-2036

- Policy DE1 – Promoting Good Quality Design
- Policy E5 – Expansion of Existing Businesses
- Policy E9 – Visitor Economy
- Policy EN6 – The Historic Environment
- Policy SB1 – Sustainable Building Measures
- Policy SP3 – Infill Development
- Policy SP6 – Community Facilities

National Planning Policy Framework (NPPF)

- Section 12 – Achieving well-designed places
- Section 9 - Promoting Sustainable Development

## **5 Representations Received as a result of Publicity**

- 5.1 This application has been advertised in accordance with the Council's Statement of Community Involvement and 2 letters of representation have been received. The points raised can be summarised as follows:

1. Removal of popular area of the public house used by customers
2. Each holiday let is too small in scale to be attractive to potential visitors
3. Would result in the deterioration of 'The Fortescue Arms'
4. Inaccurate site location plan (since amended)
5. Loss of community amenity area
6. Noise impact from public house on occupiers of the overnight accommodation
7. Misleading information on proposed use class
8. Lack of detail regarding site management and maintenance with no details of staffing, access or servicing
9. Impact on heritage asset and its setting

## **6 Representations Received**

### **6.1 Environmental Protection**

6.2 No objections subject to conditions relating to hours of construction, a construction management plan, fire safety and sound proofing.

### **6.3 SKDC Conservation Team**

6.4 It is proposed to convert and change the use of the outbuildings to the rear of the Fortescue Arms to short term holiday accommodation.

6.5 The proposal to convert the outbuildings to the rear of Fortescue Arms is acceptable in principle. The proposal will bring the buildings into use which will secure them for the future.

6.6 The proposals have considered the existing openings on the buildings. Where new openings have been proposed it is to facilitate the change of use to accommodation. There is the potential for historic fabric loss, particularly with the introduction of a new doorway to allow access to the first-floor accommodation and the removal of the wall between Storeroom 5 and 6 to create Room 6.

6.7 It is a shame that the existing doors of the carriage house can't be retained and repurposed on site, however this does limit the ability to create access to the first floor.

6.8 Further drawings of the proposed rear elevation and drawings that show the elevation of the ensuite for Room 6 are required. Currently there are no rear elevation drawings nor elevation drawings that show Room 6s ensuite and the window proposed there. It appears the existing window on the first floor of the rear elevation of the carriage house is to be used as part of the development and the existing doorway is to be blocked up for a window.

6.9 Materials and joinery details should be conditioned to ensure that the materials and windows are in keeping with the curtilage listed building and the listed building at the front of the site. The rooflights proposed should be of conservation design.

6.10 The proposal will result in a low level of less than substantial harm to the curtilage listed building due to the loss of historic fabric and change in appearance.

- 6.11 The NPPF Paragraph 215 states: Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.
- 6.12 In this instance, the harm to the heritage asset caused by the proposal is outweighed by the public benefit of securing the optimum viable use of the outbuildings. The proposal will also improve the Billingborough Conservation Area in line with paragraph 219 by repairing an at-risk historic building.
- 6.13 Service routes and plant rooms have not been considered with these proposals, further information regarding this should be conditioned to ensure that minimal fabric loss occurs and therefore harm is kept to a minimum. Similarly, the proposal for the floors and proposed insulation for the conversion to accommodation has been omitted from these proposals. Further details are needed to ensure that the materials used are appropriate for the traditionally constructed building and that any original features, such as flooring, are preserved.
- 6.14 Overall, I have minor concerns with the proposal on heritage grounds, however in principle the conversion of the outbuildings to ancillary holiday let accommodation for the public house is acceptable. A Listed Building Consent application should be submitted to accompany the planning permission as the buildings are curtilage listed to the Fortescue Arms that fronts High Street

## **7 Evaluation**

- 7.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that the Local Planning Authority makes decisions in accordance with the adopted Development Plan, unless material considerations indicate otherwise. In this case, the adopted development plan comprises of the following documents:
- South Kesteven Local Plan 2011-2036 (Adopted January 2020)
- 7.2 The Lincolnshire Minerals and Waste Local Plan forms part of the development plan in relation to minerals planning.
- 7.3 The policies and provisions set out in the National Planning Policy Framework are also a material consideration in the determination of planning applications, alongside the recently adopted Design Guidelines for Rutland and South Kesteven.
- 7.4 As of March 2025, the Council are presently unable to demonstrate a 5-year supply of housing land and as a result, the policies most important for determining the application are deemed to be out-of-date by virtue of footnote 8 and paragraph 11d) of the Framework. Paragraph 11d) requires that planning permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole; or where specific policies in The Framework, indicate that development should be restricted.
- 7.5 Principle of Development
- 7.6 Extending the use to the further land to the south within the proposed site area, would be classed as expanding this use class, and the associated business use. Therefore, Policy E5 (Expansion of Existing Businesses) would be applicable.
- 7.7 The expansion of existing businesses will be supported, provided that:

- a) existing buildings are re-used where possible;
- b) vacant land on existing employment sites is first considered;
- c) the expansion does not conflict with neighbouring land uses;
- d) the expansion will not impact unacceptably on the local and/or strategic highway network; and
- e) the proposal will not have an adverse impact on the character and appearance of the area and/or the amenities of neighbouring occupiers.

7.8 Further to this, the result in tourism to the area and therefore Policy E9 (Visitor Economy) would be applicable. Policy E7 states

7.9 E9: Visitor Economy Proposals for development of the local visitor economy will be supported where these:

- a) allow provision for visitors which is appropriate in use and character to South Kesteven's settlements and maintains the quality of the countryside and the natural environment;
- b) enhance existing tourist and visitor facilities; aid the retention and/or enhancement of existing overnight accommodation and the provision of new overnight accommodation;
- c) allow new tourism provision and initiatives where these would also benefit local communities and support the local economy; or
- d) allow new tourism development of an appropriate scale and use which utilises existing historic buildings in the countryside whilst respecting their character.

In all cases proposals should be of a scale appropriate to the setting of the area and a sequential test should be applied where appropriate.

Proposals which generate high levels of visitor traffic or increased public use of tourist facilities should only be permitted within or on the edge of the towns and Larger Villages, or where they can be easily accessed by public transport, foot and cycle.

To ensure that tourism-related development does not result in the creation of permanent living accommodation, conditions may be imposed which restrict the use and/or period of occupation.

7.10 Given that there is the existing use class provided by the host building and its associated curtilage, and the expanded site area would be directly adjacent, and is read in connection with this existing site, the expansion of the business use in this area is considered acceptable in principle subject to criteria d and e of E5 which would be discussed further below. This is relevant for Policy E9 also given that the existing sites use would contribute towards visitor economy and therefore it would be a case of the site-specific criteria to the details of this expanded proposal that are further considered in the sections that follow.

7.11 Due to the application site and buildings within forming part of the public house 'Fortescue Arms' Policy SP6: Community facilities would be applicable.

7.12 Policy SP6 of the SKDC Local Plan states:

7.13 Applications for the change of use of all community facilities which would result in the loss of community use will be resisted unless it is clearly demonstrated that:

- a) there are alternative facilities available and active in the same area which would fulfil the role of the existing use/building; and
- b) the existing use is no longer viable (supported by documentary evidence), and there is no realistic prospect of the premises being re-used for alternative business or community facility use.

7.14 The proposal must also demonstrate that consideration has been given to:

- c) the re-use of the premises for an alternative community business or facility and that effort has been made to try to secure such a re-use; and
- d) the potential impact closure may have on the area and its community, with regard to public use and support for both the existing and proposed use.

7.15 The proposal would be converting an existing storage area underutilised by the public house, to accommodation that would be part of the services the public house offers. The proposal would still allow for use of a beer garden to the rear of the public house, whilst allowing for diversification of the business to allow the ongoing use of the main public house. The proposal would not result in the loss of the public house use, nor is it considered to compromise this use. Conditions are proposed to restrict occupation of the proposed accommodation to holiday-let units only, and to ensure that they are ancillary to the operation of the public house. These conditions will ensure that the proposals do not comprise the continued use of this public facility. The proposal is considered to comply with Policy SP6 of the SKDC Local Plan.

7.16 Impact on the character and appearance of the area

7.17 Policy DE1 (Promoting Good Quality Design) of the adopted Local Plan states (amongst other criteria) that to ensure high quality design is achieved throughout the District, all development proposals will be expected to make a positive contribution to local distinctiveness vernacular and character of the area. Proposals should reinforce local identity and not have an adverse impact on the street scene, settlement pattern or the landscape / townscape character of the surrounding area. Proposals should be of an appropriate scale, density, massing, height and material, given the context of the area. Part 12 of the NPPF (Achieving well-designed places) states that good design is a key aspect of sustainable development and new development should be visually attractive as a result of good architecture and appropriate landscaping.

7.18 The Local Planning Authority is required to ensure that special regard to preserving the Listed Buildings and their settings in relation to Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (the 'Act'). No harm should be caused with the historical assets and their surroundings requiring to be preserved or enhanced.

7.19 The Local Planning Authority is required to ensure that with respect to any buildings or other land in a conservation area, special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area, through the Planning (Listed Buildings and Conservation Areas) Act 1990 at Section 72.

7.20 Furthermore, the importance of considering the impact of development on the significance of designated heritage assets is expressed in the National Planning Policy Framework (NPPF). The NPPF advises that development and alterations to designated assets and their settings can cause harm. These policies ensure the protection and enhancement of the historic buildings and environments. Proposals that preserve those elements of the

setting that make a positive contribution to or better reveal the significance should be treated favourably.

- 7.21 Policy EN6 (The Historic Environment) states amongst other criteria that the Council will seek to protect and enhance heritage assets and their settings, in keeping with the policies in the National Planning Policy Framework. Proposals will be expected to take into account the Conservation Area Appraisals, where these have been adopted by the Council.
- 7.22 SKDC's Conservation Officer advised that there is no objection from a heritage standpoint to the change of use in principle. The proposals have considered the existing openings on the buildings. Where new openings have been proposed it is to facilitate the change of use to accommodation. Whilst it would be preferential for the existing doors of the carriage house to be retained and repurposed on site, it is acknowledged that this would limit the ability to create access to the first floor.
- 7.23 The reuse of this outbuilding would however serve to bring the building from its current less optimal use to the best most optimal use of the building, with the accommodation and its upkeep ensuring the continued maintenance and use of the structure.
- 7.24 Due to the historic nature of the building, it is considered to be appropriate for a condition to be attached requiring level 2 historic building recording be carried out prior to the conversion works being undertaken. A condition has been attached accordingly.
- 7.25 Further details would be required in relation to materials, insulation, flooring and joinery. Therefore, further details in relation to these aspects have been conditioned.
- 7.26 Within representation it was noted that the scale of the proposed accommodation are small units and therefore would be unattractive to potential occupiers. The units are a mix and single- and double-bedroom units, some with sofa beds. This mix is considered acceptable, and any future occupiers would be aware of the scale of the units and facilities on offer and the attractiveness of these uses is not relevant to the determination of the planning application.
- 7.27 Overall, the Conservation Officer advised the proposal would result in a low level of less than substantial harm to the setting of the Fortescue Arms. This low level of less than substantial harm is considered to be outweighed by the public benefit resulting from the holiday lets helping to generate funding to secure the best most optimal use of the building and diversifying the services it offers, as well as safeguarding the continued operation of the public house. This would be in accordance with the NPPF Sections 12 and 16 and Policies EN6 and DE1 of South Kesteven Local Plan.
- 7.28 Impact on neighbours' residential amenities
- 7.29 Policy DE1 (Promoting Good Quality Design) of the adopted Local Plan states (amongst other criteria) that all development proposals will be expected to ensure there is no adverse impact on the amenity of neighbouring users in terms of noise, light pollution, loss of privacy and loss of light and provide sufficient private amenity space, suitable to the type and amount of development proposed. Paragraph 135 of the NPPF states that developments should create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

- 7.30 Concerns were raised in representation in relation to resulting noise impact to the occupiers of the holiday accommodation from the public house operating adjacent.
- 7.31 An acoustic survey and assessment were undertaken in relation to the proposal and it was determined that subject to appropriate management, the temporary nature of the accommodation and sound proofing, there would be no unacceptable impact on the future occupiers of the accommodation. The proposal being operated by the same operators as the public house, would ensure any noise issues arising from the use of the pub garden by patrons would be managed and resolved effectively. A condition has been attached requiring that Section 3 of the noise survey, which includes recommendations for noise management are adhered to.
- 7.32 Environmental Protection were consulted on the proposal and raised no concerns in relation to this relationship however did note that sufficient sound proofing would need to be provided in accordance with building regulations.
- 7.33 Taking into account the nature of the proposal, small scale, and adequate separation distances, it is considered that there would be no unacceptable adverse impact on the residential amenities of the occupiers of adjacent properties in accordance with the NPPF Section 12, and Policy DE1 of the Local Plan.
- 7.34 Highways Impacts
- 7.35 Paragraph 116 of the NPPF advises that development should only be prevented or refused on transport grounds where the residual cumulative impacts of development are severe.
- 7.36 There are no objections to the proposal based on highways safety from Lincolnshire County Council Highways, with the existing car parking sufficient to accommodate the parking that would result from the proposed holiday lets.
- 7.37 The proposal would result in adequate access, parking and turning facilities and would not have an unacceptable adverse impact on highway safety in accordance with the NPPF Section 9.
- 7.38 Ecology and Biodiversity
- 7.39 The proposal would be exempt from the national Biodiversity Net Gain (BNG) requirement given that it relates solely to a change of use of an existing building.
- 7.40 Nevertheless, the proposal relates to a conversion of a historic building which could have potential for nesting bats and birds. As such, a preliminary roosting assessment accompanies the submission and identifies there were no signs of any roosting bats. The survey did however note that small birds such as house sparrows or blue tits could nest in the hole in the wall of the building. As such, it is recommended the works be undertaken between outside the period 1st March to 31st August. If this timeframe cannot be avoided, a close inspection of the building should be undertaken immediately prior to the start of works by a qualified ecologist. All active nests will need to be retained with a 5m buffer until the young have fledged.
- 7.41 Given the nature of the proposal and the historic assets on site, it is considered that an appropriate biodiversity enhancement would be for the introduction of bird nesting boxes within the trees on site. This would be in line with the advice within the roosting assessment. Subsequently, a condition has been attached requiring the provision of 2 bat boxes and 2 bird boxes on site prior to the first use of the buildings hereby permitted.

- 7.42 The proposal would be in accordance with Policy EN2 of the SKDC Local Plan.
- 7.43 Other Matters
- 7.44 Environmental Protection requested conditions in relation to fire safety, sound proofing, construction hours and a construction management plan. The construction management plan would ensure appropriate management of dust and noise pollution during construction and a condition has been attached. The construction hours would be managed through statutory noise nuisance and the sound proofing and fire safety would be managed through the appropriate building regulations therefore it is not considered to be necessary for this to be attached in this instance.
- 7.45 Concern was raised during the course of the application regarding the site plan being inaccurate. This was raised with the applicants agent and a corrected site plan was subsequently provided.
- 7.46 Crime and Disorder
- 7.47 It is considered that the proposal would not result in any significant crime and disorder implications.
- 7.48 Human Rights Implications
- 7.49 Articles 6 (Rights to fair decision making) and Article 8 (Right to private family life and home) of the Human Rights Act have been taken into account in making this recommendation. It is considered that no relevant Article of that act will be breached.
- 7.50 Conclusion
- 7.51 Taking the above into account, whilst it is acknowledged the proposals would result in a low level of less than substantial harm to the setting of the listed buildings, this would be outweighed by the public benefit of achieving the buildings optimal use. Furthermore, the introduction of the holiday accommodation in connection with the ongoing use of the public house would diversify this existing community facility and the facilities it offers, ensuring the community facilities ongoing use.
- 7.52 The proposal is therefore considered to be in accordance with NPPF sections 12 and 16, and Local Plan Policies DE1 E9, EN2, EN6 and SP6. In this case, the balance of material considerations also indicates that planning permission should be granted.

## **8 Recommendation**

- 8.1 To authorise the Assistant Director – Planning to GRANT planning permission subject to the recommended schedule of conditions.

### **Time Limit for Commencement**

1) The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

Reason: In order that the development is commenced in a timely manner, as set out in Section 91 of the Town and Country Planning Act 1990 (as amended).

## **Approved Plans**

- 2) The development hereby permitted shall be carried out in accordance with the following list of approved plans:
- i. Site Location Plan received 30 May 2025
  - ii. Proposed Floor Plans re. 22.2820.25B received 11 July 2025

Unless otherwise required by another condition of this permission.

Reason: To define the permission and for the avoidance of doubt.

## **Before the development is commenced**

- 3) No works shall commence until a programme of building recording at Level 2 as defined by Historic England in Understanding Historic Buildings: A Guide to Good Recording Practice is produced, submitted to and approved by the Local Authority.

The Building Recording will be undertaken in accordance with the approved scheme of work prior to development commencing.

Reason: To ensure the development is in accordance with Paragraph 218 of the NPPF and Policy EN6: The Historic Environment of South Kesteven District Council's Local Plan.

- 4) Before the development hereby permitted is commenced, a construction management plan detailing the controlling of construction noise and dust during the development of the site shall have been submitted to and approved by the Local Planning Authority.

Reason: To protect neighbouring properties the working methods will need to be carefully considered in accordance with Policies EN4 and DE1 of the SKDC Local Plan.

## **During Building Works**

- 5) During building works, any historic flooring identified during the historic building recording shall be retained and preserved through the installation of a false floor unless otherwise agreed in writing with the Local Planning Authority.

Reason: To ensure the satisfactory preservation of this listed building and in accordance with Policy EN6 of the adopted South Kesteven Local Plan.

- 6) Before any of the works on the external elevations for the building(s) hereby permitted are begun, samples of the materials (including colour of any render, paintwork or colourwash) to be used in the construction of the external surfaces shall have been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

- 7) Before the installation of any of the new external windows and/or doors hereby consented, full details of all proposed joinery works for those windows/doors, including 1:20 sample elevations and 1:1 joinery profiles, shall have been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure the satisfactory preservation of this listed building and in accordance with Policy EN6 of the adopted South Kesteven Local Plan.

- 8) Prior to any internal works hereby permitted, a method statement for the insulation of the property, including the material details and specification for installation, shall have been submitted to and approved by the Local Planning Authority. The insulation shall be installed in accordance with the approved details prior to the building first being brought into use.

Reason: To ensure the satisfactory preservation of this listed building and in accordance with Policy EN6 of the adopted South Kesteven Local Plan.

### **Before the development is occupied**

- 9) Before any part of the development hereby permitted is brought into use, the external surfaces shall have been completed in accordance with the approved details.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

- 10) Before the part of the building being altered is first brought into use, the joinery works shall have been completed in accordance with the approved joinery details.

Reason: To ensure the satisfactory preservation of the building and in accordance with Policy EN6 of the adopted South Kesteven Local Plan.

- 11) Before any part of the development hereby approved is brought into use, the rooflights indicated to the south elevation; shall have been installed and be of a conservation type, fitted flush with the adjoining roof surface so as not to project above the plane of the roof and shall be retained as such thereafter.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy EN6 of the adopted South Kesteven Local Plan.

- 12) Before any part of the development hereby approved is brought into use, 2 bird boxes and 2 bat boxes shall have been installed on site.

Reason: To support biodiversity provision on site in line with Policy EN2 of the SKDC Local Plan.

### **Ongoing Conditions**

- 13) The holiday accommodation hereby permitted shall solely be used in connection with the operation of the public house 'Fortescue Arms, 27 High Street, Billingborough'.

Reason: To define the permission and protect the community facility in accordance with Policy SP6 of the adopted South Kesteven Local Plan.

14) The accommodation hereby approved shall be occupied only in strict accordance with the following requirements:

i. The accommodation shall be occupied for holiday purposes only.

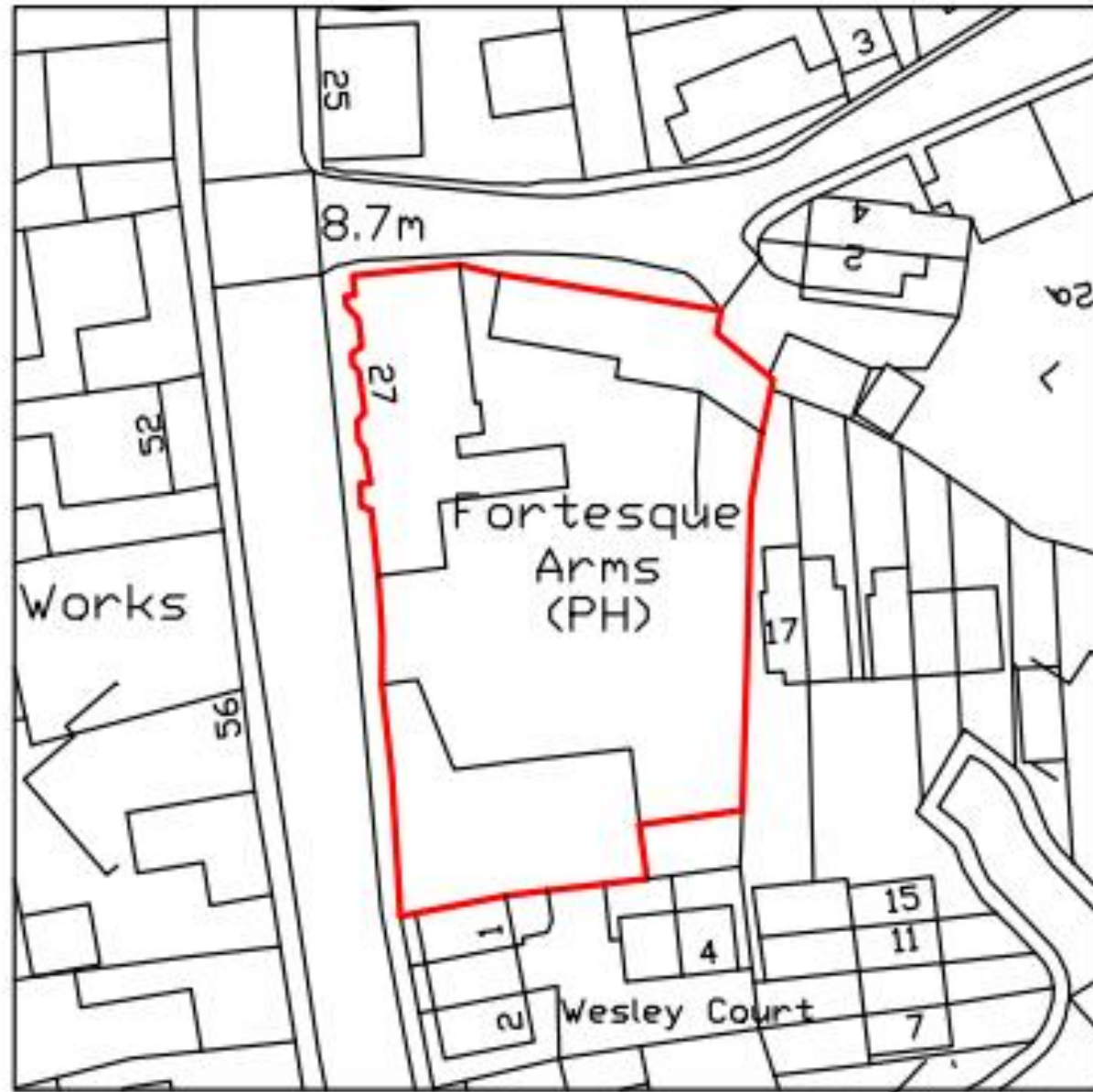
ii. The accommodation shall not be occupied as a person's sole, or main place of residence.

iii. A register of occupancy of the accommodation, to include the details of motor vehicle registration numbers, the names and addresses of all occupants and their arrival and departure dates, shall be kept by the site manager and shall be made available at all reasonable times for inspection by officers of the local planning authority.

Reason: To ensure that the permitted accommodation is not occupied for permanent residential use having regard to the retention of the community facility and noise amenity of occupiers in accordance with Policies SP6 and DE1 of the adopted South Kesteven Local Plan.

15) The development hereby permitted shall be carried out in accordance with Section 3 of the Acoustic Survey and Assessment Prepared by MES Ltd dated August 2024.

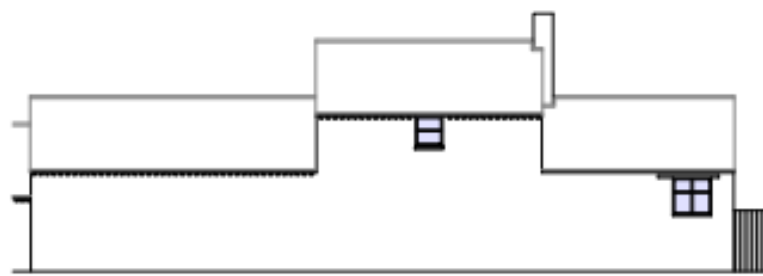
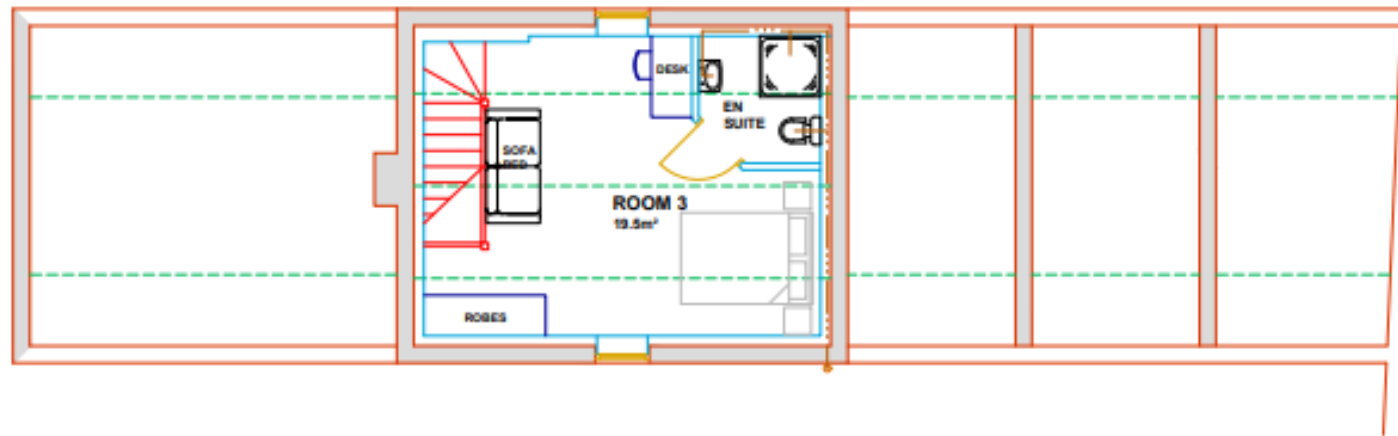
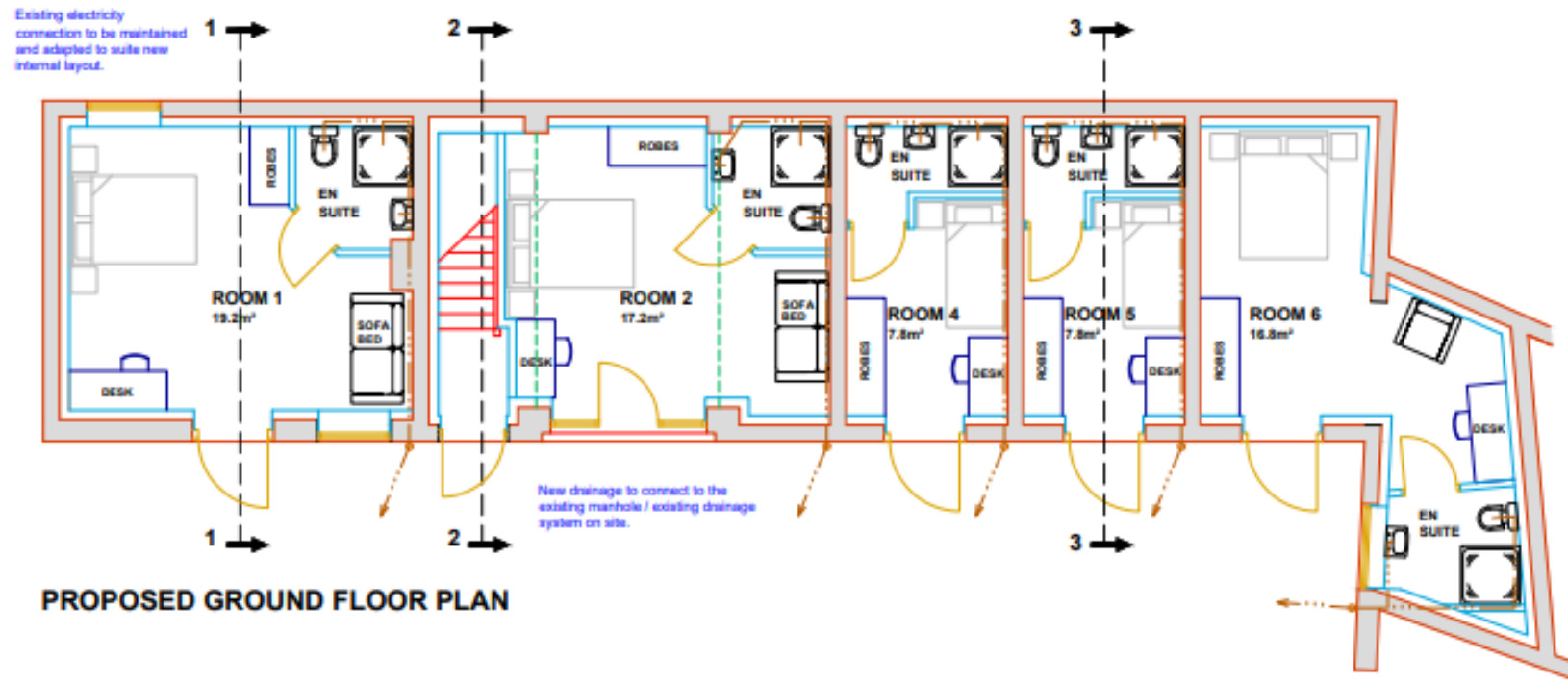
Reason: To prevent disturbance to the amenities of the occupants of the site and in accordance with Policies EN4 and DE1 of the adopted South Kesteven Local Plan.



Scale 1:1250

# SITE LOCATION PLAN

Proposed Plans



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Any discrepancies, omissions or errors shall be the responsibility of the client and not the architect.

**CONSTRUCTION NOTES:-**

- SCHEDULE**
- ROOM 1 - DOUBLE WITH SOFA BEDROOM
  - ROOM 2 - DOUBLE WITH SOFA BEDROOM
  - ROOM 3 - DOUBLE WITH SOFA BEDROOM
  - ROOM 4 - SINGLE
  - ROOM 5 - SINGLE
  - ROOM 6 - DOUBLE

<b>DRAWING TITLE</b>	
<b>SCHEME 3 PROPOSED FLOOR PLANS</b>	
Campbell House 171 Rochdale Road Fingrove Rochdale OL16 3BN	
Tel: 01706 334888 Mob: 0151 7215183 Email: admin@jamescampbellassociates.co.uk Web: www.jamescampbellassociates.co.uk	
<b>PROJECT</b>	
<b>PROPOSED CONVERSION TO FORM ACCOMMODATION</b>	
<b>LOCATION</b>	
The Fortesque Arms High Street Billingborough Sleaford	
<b>DRAWN:-</b> Martin D. Ashworth	<b>DRAWING NUMBER:-</b>
<b>DATE:-</b> May 2024	<b>22.2820.25B</b>
<b>SCALE:-</b> 1:50 1:100 @ A1	
<b>ISSUE:-</b> 1	

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**SOUTH  
KESTEVEN  
DISTRICT  
COUNCIL**



## S22/2371

**Proposal:** Erection of twelve self-contained flats with associated hard and soft landscaping, cycle and bin storage and detached storage building  
**Location:** Land Off Burghley Street, Bourne  
**Applicant:** Jason Murray Homes  
**Agent:** Mr John Dickie  
**Application Type:** Full Planning Permission  
**Reason for Referral to Committee:** Member call in Cllr Helen Crawford – Concerns in relation to highway safety and heritage impact.  
**Key Issues:** Section 106 agreement for financial contributions  
 Development principle  
 Heritage impacts  
 Amenity impacts  
 Highway safety  
**Technical Documents:** Design & Access and Heritage Impact Assessment  
 Drainage Strategy  
 Transport Statement

### Report Author

Kevin Cartwright - Senior Planning Officer



01476 406375



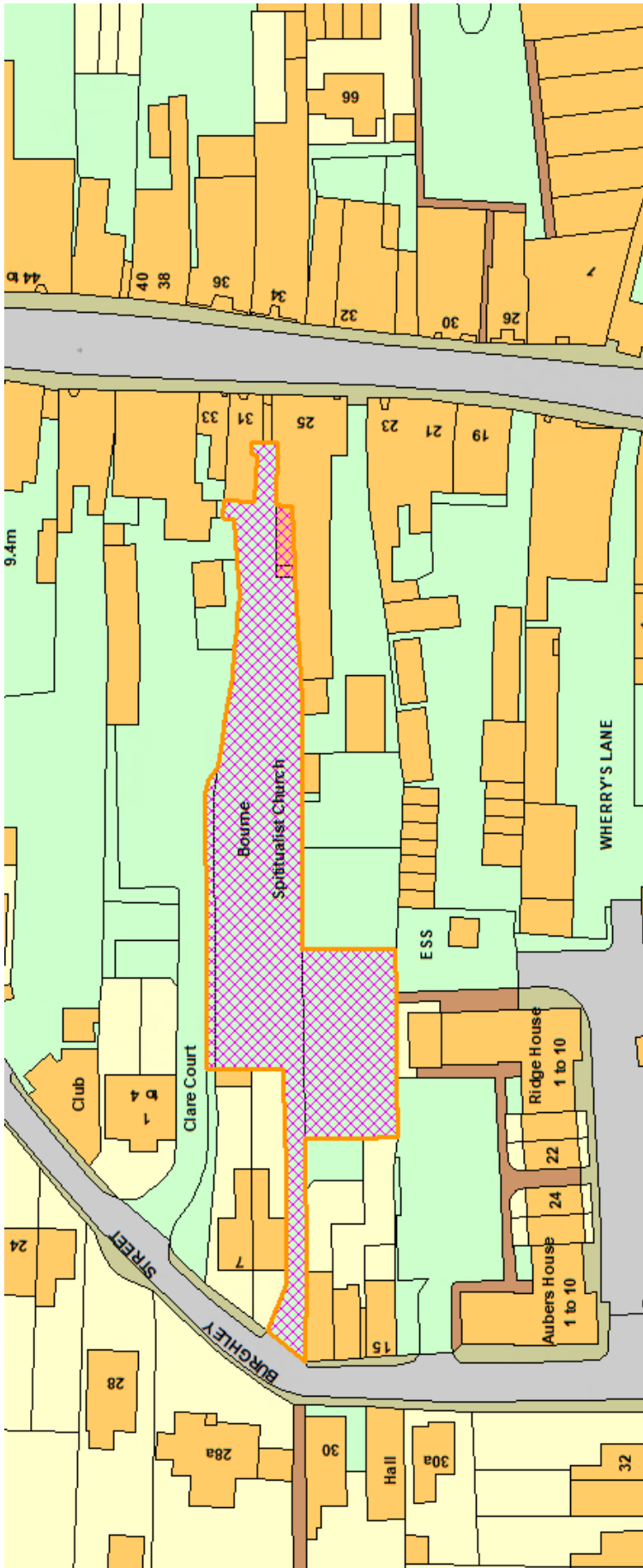
Kevin.cartwright@southkesteven.gov.uk

Corporate Priority:	Decision type:	Wards:
<b>Growth</b>	<b>Regulatory</b>	<b>Bourne West</b>
<b>Reviewed by:</b>	Phil Jordan, Development Management & Enforcement Manager	22 July 2025

### Recommendation (s) to the decision maker (s)

To authorise the Assistant Director – Planning & Growth to GRANT planning permission, subject to the completion of a Section 106 legal agreement

S22/2371– Land Off Burghley Street, Bourne



Key



Application  
Boundary



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## **1 Description of Site**

- 1.1 The application site is located within Bourne in a predominantly residential area. The site is approximately 3365m<sup>2</sup>. It is located directly to the rear of 31, North Street which is currently occupied by the British Red Cross with a residential flat over.
- 1.2 The site is linear in form and extends between North Street and Burghley Street, varying in width between approximately 6.3m and 13.8m, with an overall site length of approximately 90m.
- 1.3 Part of the site to the west includes the drive which passes between two residential properties on Burghley Street. To the north of the site is a parcel of land also accessed from Burghley Street, between 7-9 Burghley Street and Clare Court. From a visual inspection this land appears to be used for vehicle parking. To the south of the site are the residential garden areas of the adjacent dwellings on Burghley Street and beer garden/curtilage of the adjacent public house. The eastern half of the application site is located within the Bourne Conservation Area. Directly adjacent to the site are a number of listed buildings, including 25 North Street to the south which is a grade II listed, and 35 North Street to the north which is also grade II listed.

## **2 Description of Proposal**

- 2.1 The scheme was initially submitted as 12no. residential units within 3no. discrete blocks and a detached storage building. Following a number of discussions with the applicant in relation to design and heritage matters the scheme was amended.
- 2.2 The proposal relates to the construction of 12no. self-contained flats located in two blocks and a detached storage building to the rear of 31 North Street.
- 2.3 Block A would be located to the rear of the public house beer garden and the rear gardens of 11-15 Burghley Street, directly to the south is Ridge House, the recently constructed development of 20no. apartments and 5no. town houses off Wherry's Lane.
- 2.4 Block A would provide 4no. flats within a roughly T shaped two and a half storey building. The front elevation would be orientated to face west. There would be an area of parking and bin collection point between the proposed front elevation and the rear garden area of 11-15 Burghley Street. A cycle shelter would be located in the rear amenity area to the east of Block A adjacent to the boundary with the public house beer garden.
- 2.5 There would be a separation distance of approximately 30 metres from the proposed front elevation to the rear elevation of the existing properties along Burghley Street (No.s 11-15), and approximately 12 metres from the proposed front elevation to the rear boundary of these properties.
- 2.6 The building would have an overall height of approximately 10.1 metres within the main core of the building, with the single storey rear elevation being approximately 5.8 metres.

- 2.7 It would be constructed of brickwork and roof tiles with the rear extension being render finish. Windows are proposed to be upvc. The permeable block paving would be used for the access and parking areas. Four parking spaces are proposed to be provided with one space per unit of accommodation.
- 2.8 Block B would be located adjacent to the northern boundary, roughly centrally within the site. The building would have an overall ridge height of approximately 9.3 metres with the outward appearance of a row of town houses with dormer windows to the front, south facing elevation.
- 2.9 It would be in the form of a linear development of 8no. independent flats. 4no. One bed apartments at ground floor and 4no. two bed apartments at first floor and attic. It would be constructed of brickwork with contrasting brick detailing, roof tiles and timber, sliding slash windows. Eight parking spaces are proposed to be provided with one space per unit of accommodation. Bin storage would also be provided.
- 2.10 The storage building would be located to the rear of 31 North Street. It would have a footprint of approximately 10m by 4.5m with an overall ridge height of approximately 3 metres. No end user has been identified for the storage building. The applicant's agent has stated that it is likely to be rented to one of the current retail units operating on North Street.

### **3 Relevant History on site**

- 3.1 S03/0321 – Replace workshop with six dwellings with access from Burghley Street – Refused planning permission 25<sup>th</sup> April 2003. The reason for refusal was Outline planning permission is sought for the erection of six dwellings on land to the rear of 31 North Street. Access to the site lies between dwellings 9 and 11 Burghley Street. In the opinion of the Local Planning Authority, the development if approved would be seriously detrimental to these properties by reason of noise, disturbance and loss of privacy, thus representing over-development in an unacceptable back land location.
- 3.2 This decision was the subject of an appeal that was dismissed on 12<sup>th</sup> April 2003. (APP/E2530/A/03/1127250).
- 3.3 S04/0577 – Erection of one dwelling and three flats (including demolition of cinema & 13 garages) – Refused Planning Permission on 10<sup>th</sup> June 2004. The reason for refusal was as per S03/0321 – Access to the proposed dwelling lies between the residential properties at 9 and 11 Burghley Street. In the opinion of the Local Planning Authority, the dwelling, if approved, would be seriously detrimental to these properties by reason of noise and disturbance and loss of privacy, thus representing over-development in an unacceptable back land location. This view was upheld in a recent appeal decision relating to the site.
- 3.4 S11/1601 - Change of Use to public car park ancillary to public house from domestic garage site – Refused Planning Permission on 14<sup>th</sup> September 2011 for the following reason(s): Visibility from the proposed access is highly restricted and substantially below requirements. Traffic movement details provided are insufficient and incorrect, likely traffic

movements generated by the proposal will be far greater than existing, based on the services provided by the premises including morning, lunchtime, afternoon and evening. The possible users of the car park are likely to be unaware of the access and junction arrangements to the detriment of highway safety.

- 3.5 S17/0703 - Demolition of buildings and erection of 4 no. dwellings with associated hard and soft landscaping – Granted Planning Permission on 13<sup>th</sup> September 2017. (Vehicle access was between 9 and 11 Burghley Street).
- 3.6 S18/0645 - Demolition of existing buildings and erection of 3 blocks of 12 apartments – Was refused planning permission on 3<sup>rd</sup> August 2018 for the following reason: In the opinion of the Local Planning Authority it is considered that the proposal would be overdevelopment of a small site with no provision for on site vehicle parking or vehicle access and insufficient amenity space for the residents. The proposal would therefore be contrary to relevant provisions of Core Strategy Policy EN1 and the principles of good design as advocated by Section 12 (particularly para 127 of the NPPF).
- 3.7 This refusal was the subject of an appeal which was dismissed on 18<sup>th</sup> April 2019. The Inspector reasons can be summarised as follows: “Overall, therefore, I am of the view that the lack of parking provision and the unsuitability of alternative arrangements would increase the risk to highway safety and would have a significant and harmful effect on the living conditions of future occupants, which would detract from the quality of the development”.
- 3.8 Additionally, “I find that the proposal would result in a poor-quality built environment and unacceptable living conditions for future residents. In coming to this view, I recognise that the Council does not argue against the proposal in terms of its effect on character and appearance. However, that the site may accommodate the buildings in spatial and visual terms does not, in my view, mitigate for the site not accommodating the requirements of the development as a whole” (APP/E2530/W/18/3211984).

## **4 Policy Considerations**

### **4.1 SKDC Local Plan 2011 – 2036**

Policy SD1 – The Principles of Sustainable Development in South Kesteven  
Policy SP1 – Spatial Strategy  
Policy SP2 – Settlement Hierarchy  
Policy SP3 – Infill Development  
Policy SB1 – Sustainable Building  
Policy EN4 – Pollution Control  
Policy EN5 – Water Environment and Flood Risk Management  
Policy EN6 – The Historic Environment  
Policy DE1 – Promoting Good Quality Design  
Policy ID2 – Transport and Strategic Transport Infrastructure

### **4.2 National Planning Policy Framework (NPPF)**

Section 2 – Achieving sustainable development  
Section 4 – Decision making  
Section 5 – Delivering a sufficient supply of homes

Section 12 – Achieving well designed places

Section 14 – Meeting the challenge of climate change, flooding and coastal change

Section 15 – Conserving and Enhancing the Natural Environment

## **Other Relevant Documents**

Design Guidelines for Rutland and South Kesteven

Bourne Conservation Area Appraisal and Management Plan

## **5 Representations Received**

### **5.1 Environmental Protection Services (SKDC)**

5.1.1 No objection subject to a condition in relation to possible contamination on the site and construction management plan.

### **5.2 LCC Highways & SuDS Support**

5.3 Final Comments – No objection subject to a revised drainage scheme in line with the current proposals. Site Layout This site has evolved over time from when it was first submitted back in 2022. Whilst the parking isn't in line with Lincolnshire Guidance this is acceptable due to the central urban area. Refuse collection will be internal to the site so as not to cause a safety issue at the access. All calling vehicles will be able to enter and leave the site in a forward gear. The pedestrian access to North Street will remain.

5.4 The access to the site from the public highway is well below the requirements of Manual for Streets however the site has a fallback use that would have generated comparable vehicle movements therefore the proposal will not exacerbate the any highway safety issue.

5.5 There is no precise definition of "severe" with regards to NPPF Paragraph 116, which advises that "Development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe." Planning Inspector's decisions regarding severity are specific to the locations of each proposal, but have common considerations: The highway network is over-capacity, usually for period extending beyond the peak hours, the level of provision of alternative transport modes, whether the level of queuing on the network causes safety issues. In view of these criteria, the Highways and Lead Local Flood Authority does not consider that this proposal would result in a severe impact with regard to NPPF.

5.6 The site is in a central urban area that is not at risk of flooding. A revised drainage strategy is required in accordance with the latest layout drawings.

## 5.7 **NHS Lincolnshire Integrated Care Board**

5.7.1 A contribution of £7,920.00 is requested to mitigate against the impact of an increased demand on local health care centres/services. Specifically, The Bourne Galletly Practice and Hereward Group Practice.

## 5.8 **Lincolnshire Fire and Rescue**

5.9 Initial Comments: The Fire Authority objects to this planning application due to Inadequate access for a fire appliance.

5.10 If it is not possible to provide this standard of access to the proposed development in accordance with the guidance details within Part B5 of Approved Document B, as compensation, Lincolnshire Fire and Rescue may accept the provision, at the developer's expense, an automatic sprinkler system in each of the flats to be designed, fitted and maintained in accordance with the relevant sections of BS5306/BSEN12845:2004. Should this option be chosen, our Fire Safety advisers must be provided with detailed plans of the proposed sprinkler installations. Any scheme being proposed should not be of a lesser standard than provisions as required by the Building Regulations.

5.11 Final Comments: The Fire Authority object to the application on the grounds of water supply. It is the opinion of the Fire Authority that in order to remove the objection the following measures are required.

5.12 Access to buildings for fire appliances and fire fighters must meet with the requirements specified in Building Regulations 2010 (As Amended) Part B5. Particular attention should be given to Table 15.2. These requirements may be satisfied with other equivalent standards relating to access for firefighting, in which case those standards should be quoted in correspondence.

5.13 Lincolnshire Fire and Rescue also requires a minimum carrying capacity for hard standing for pumping appliances of 18 tonnes, not 12.5 tonnes as detailed in the Building Regulations 2010 (As Amended) Part B5.

Lincolnshire Fire and Rescue requires the installation of one fire hydrant conforming to BS750-2012 within 90m of each of the premises entrance in respect of this planning application to be provided at the developer's expense. Fire hydrant acceptance testing will be carried out by a Hydrant Inspector on completion and a standard hydrant marker "H" plate will be fitted nearby. Following adoption, the Fire Service will be responsible for the ongoing maintenance and repairs for the lifetime of the fire hydrant.

## 5.14 **Anglian Water**

5.14.1 Final Comments - Bourne Water Recycling Centre is within the acceptance parameters and can accommodate the flow for the proposed growth.

5.14.2 As understood the foul and surface water will utilise connections to existing foul and surface water drains which will discharge into soakaways. If the drainage strategy changes, Anglian Water would object to the use of deep infiltration systems to dispose of surface water unless it can be robustly demonstrated not to present a risk to the underlying aquifer and subsequent public water supply abstraction.

If pilling is required as part of any foundation design a pilling risk assessment should include any risks pilling may present to the underlying aquifer. It is also worth noting the

artesian conditions of the underlying Lincolnshire Limestone where if penetrated maybe hard to control. This should also be taken into consideration.

5.15 **Heritage Lincolnshire**

5.16 The proposed development lies in an area of narrow plots extending westward from north street and possibly demarcated former medieval burgage plots, suggesting the site may contain preserved medieval remains connected with commercial, industrial, domestic or craft activities of the period.

5.17 No objection subject to the developer commissioning a Scheme of Archaeological Work to determine the presence, character and date of any archaeological deposits present at the site. This evaluation should initially consist of trial trenching.

5.18 **Historic England**

5.19 Please seek the views of your specialist adviser.

5.20 **Lincolnshire County Council (Education)**

5.21 A contribution of £25.503 towards Secondary Education provision in Bourne.

5.22 **Bourne Civic Society**

5.23 Initial comments: As with the previous application, little or no attempt has been made to understand local distinctiveness and vernacular and we cannot even find any reference to Policy DE1. The statement that this central part of the conservation area is unimportant shows how little the applicant understands or cares about this ancient part of central Bourne. We object.

5.24 We strongly object to this application. Policy DE1 a. of the Local Plan states that a development must : 'make a positive contribution to the local distinctiveness, vernacular and character of the area.' These designs are generic and comply with none of these requirements. No care or thought has been given to the site. This is even more unacceptable in the conservation area in this important central part of town.

5.25 **Bourne Town Council**

5.26 Site for exiting the development would be very limited and therefore dangerous. As per the Fire Brigade documentation there is inadequate access for a fire appliance.

5.27 Refuse collection would be an issue as the bins would need to be at the access which as mentioned would be very limited.

5.28 **Conservation Officer**

5.29 Final Comments. The proposed site is set to the rear of No 31 North Street, with principal access from Burghley Street. It is set adjacent to the grade II listed 29 North Street (NHLE 1242321) and No 35 North Street (NHLE 1260278). The site once contained a series of outbuildings set in an irregular pattern, which were demolished in recent times. The site is also partially set within the Bourne Conservation Area. As such, the proposal has the potential to impact upon the setting of the designated heritage assets and conservation area (NPPF 215).

5.30 Updated documents regarding the proposed construction of 12No self-contained flats for the rear yard of No 31 North Street following a previous phase of consultations. The proposal changed from a cluster of separate structures to two blocks, comprising a small

block of four flats at the south-western end of the site, as well as a terrace of houses containing eight flats along the northern boundary of the site.

- 5.31 Block A, the smaller structure, has been adjusted in its scale to minimise the visual harm upon the adjacent No 25-29 North Street, by stepping the eastern wing of the building down to a single storey structure. The overall height of the west wing, however, has been increased to 2.5 storeys, to compensate for the loss of the space over the east wing. This design would likely provide a good transition between the adjacent 3 storey modern dwellings to the south of the site, and the lower 2 storey dwellings towards the north and north-east. This change is therefore welcomed.
- 5.32 There have been improvements in the design with the change from the previously dispersed dwellings to a terrace of dwellings. Historically, structures were set abutting the northern boundary of the site, with cartographic evidence from 1886 showed a narrow structure within the eastern section of the site and two enclosed gardens to the west. A similar arrangement of building abutting the northern boundary until their demolition in recent years.
- 5.33 The current proposal is for the terrace to be set forward, with narrow parcels of gardens to the rear for the ground floor flats, creating a narrow driveway to the south, with a very limited verge to the building. A separate, shared garden is proposed for the first floor flats, set to the east of the Block. This is similar the garden spaces provided as noted on the historic maps, albeit on the other side of the building, and is a good feature, which could provide a positive improvement to the site. Based on the historic character of the site, I would recommend the buildings to be set back to the northern boundary, and to provide small front yards or larger shared greenspaces.
- 5.34 The overall design of Block B gives the appearance of a cottage terrace. While the terrace block now proposed is more in keeping with the historic burgage plot style development, it is slightly at odds with the general characteristics of these types of developments. Development within historic burgage plots tended to be linear structures more of an industrial or barn/workshop character, and often were piecemeal development. The uniform appearance of the proposed Block is at odds with the varied streetscape observed in Bourne and its very diverse burgage plot developments. I would recommend a revision of the design, to be more in keeping with the wider streetscape and character of the Bourne Conservation Area.
- 5.35 Overall, there have been noticeable improvement to Block A, which are appreciated. There are, however, still concerns regarding the positioning and design of Block B. The proposal therefore is not considered to be in line with NPPF 215.
- 5.36 **Affordable Housing**
- 5.37 The NPPF requires all developments of 10 or more dwellings to be made up of 30% affordable housing. This equates to 4no. affordable housing units that would accord with Policy H2. This would be split between 2no. units for affordable rent and 2no. units affordable ownership.

## **6 Representations as a Result of Publicity**

- 6.1 This application has been advertised in accordance with the Council's Statement of Community Involvement and 7no. letters of representation have been received. A summary of the comments are summarised below in relation to the original scheme:

- Current entry and exit is dangerous due to the blind corner with the road being narrow anyway,
- It will block at least 80% of the sunlight into our garden
- Little or no privacy at all for our children due to us already being overlooked by the flats on Wherry's Lane.
- Noise and disturbance during construction from lorries back and forth on the single track road.
- Higher risk of a road traffic collision.
- Overdevelopment of the site
- There is already a lot of housing on Burghley Street with minimal amount of space.
- There is little greenery in Bourne. Why can't this remain a green area causing less pollution.
- Building work would result in a high impact on myself and my partner due to us working nights and sleeping in the day and also our young child who naps during the day.
- I have witnessed nearly every day of near misses of cars meeting on the bend. Some cars slow down, but most don't.
- With online shopping more delivery vans are on the street.
- There is no path on the corner so pedestrians have to go on the road including dogs and children.
- There are several residential driveways that are close to the corner.
- If any resident on the corner unloads their vehicle or shopping cars have to swerve round causing even more danger if another vehicle is coming the opposite way
- If this corner has a busy entrance as well, more cars vans lorries going in or coming out. they will have to poke their front end out just to see who's coming and still not see round the bend.
- At this narrow entrance, 11, Burghley Street has a front door opening directly onto moving traffic.
- Already too much traffic on this part of Burghley Street
- There is a child nursery close by with regular movements of young families with pushchairs.
- Any amount of construction at this site is likely to cause major disruptions as experienced before the flats on Wherry's Lane.
- Any medium or large car would find it difficult to exit the site and turn left.
- Any construction traffic using alternative entry/exit between Clair Court and 9, Burghley Street will also cause major concerns.
- Entrance is on a blind bend
- Proposing to build on this plot is wholly inappropriate. We already find getting in and out of our drive dangerous because of speedy vehicles without increasing traffic. I also think the access is very narrow for refuse, emergency vehicles etc.
- This application fails to comply with national and local law and guidance, including the NPPF and SKDC's own Local Plan, with regard to the requirement for new development to have 'local distinctiveness'.
- The submitted plans are generic, whereas Policy DE1 states that development must: Make a positive contribution to the local distinctiveness, vernacular and character of the area. The application must therefore be refused.
- There is Japanese Knotweed growing on the site

- Where are construction vehicles going to park?
- No objection in principle as the three blocks are far away from us. Our main concern is that the gate at the end of our passageway onto North Street remains locked at all times, a key being supplied to those with legitimate access, ie the Red Cross and Mr J Murray. We do not want to have tenants of the flats wishing to use this.
- This would create an unreasonably large footfall - with concomitant noise - through our passage way, which is under a bedroom and a living room directly above. That apart, the risk of vandalism is ever present. Also, it would offer a thoroughfare from Burghley Street to North Street, which is totally unacceptable.
- As I understand it, planning permission was refused some time ago, albeit not for full planning permission. The reasons given for the refusal are still valid for this full planning application, a refusal given by all parties concerned.
- We are not happy with the probability of a very great many people walking through the narrow passageway to North Street, a passage way we own' Furthermore, this passage goes under living accommodation, a bedroom and sitting room. It is likely that this passage way would be used by people not involved with the development; they would use it as a short cut from Burghley Street to North Street' It would present a noise problem, as also having a great many people pass our front door.

6.2 A further consultation was undertaken in relation to the amended plans. A further 2no. representations have been received. A summary of the main concerns are summarised below:

- I have no objections to the flats being built on this site but I am very concerned about access, If the access is adjacent to number 11 Burghley Street then that would be very dangerous.
- Number 11 juts out onto Burghley Street making the road very narrow and a complete blind corner if anyone was existing via the road running past number 11.
- It is already a difficult corner to negotiate if cars are approaching both ways one having almost to give way.
- I have a double access to my property an in and out drive and it is not gated. On occasions cars being driven to fast coming from the Exeter street on to Burghley street having met another car coming from the North Street entry have actually driven through my drive and out the other end. Has anyone looked at this very bad corner?

## **7 Evaluation**

### **7.1 Principle of Development**

7.1.1 The proposal would result in the construction of 12no. self-contained apartments. The relevant policies in relation to proposal are discussed below.

7.1.2 Overarching Policy SD1 is inevitably of relevance, with regard to the following objectives:

- minimise the need to travel/locate close to services
- convert/redevelop vacant buildings within settlements

- provide housing that meets the need of future and present generations

7.1.3 Policy SP1 is also relevant to consideration of the development principle, in particular where it discusses the following objectives:

- deliver sustainable growth including new housing
- focus growth in main settlements, especially Grantham
- create strong, sustainable, cohesive and inclusive communities
- make effective use of previously developed land
- enable access to jobs, services and facilities locally

7.1.4 Policy SP3 supports infill development subject to a number of criteria:

- it is within a substantially built-up frontage or re-development opportunity (previously development land);
- it is within the main built-up part of the settlement;
- it does not cause harm or unacceptable impact upon the occupiers amenity of adjacent properties;
- it does not extend the pattern of development beyond the existing built form; and it is in keeping with the character of the area and is sensitive to the setting of adjacent properties.

7.1.5 Policy DE1 of the Local Plan seeks to ensure high quality design is achieved, with proposals to make a positive contribution towards the character of the area, local identity, and not adversely impact on the street scene and townscape and be of an appropriate scale, density, massing, height and material and not impact on neighbouring residential amenity.

7.1.9 Section 12 of the NPPF sets out the importance of achieving well-designed places to ensure that proposals are only approved when they address the need to improve the character and quality of an area.

7.1.10 Para 125c of the NPPF requires substantial weight to be given to the value of using suitable brownfield land within settlements for homes and other identified needs, proposals for which should be approved unless substantial harm would be caused, and support appropriate opportunities to remediate despoiled, degraded, derelict, contaminated or unstable land

7.1.11 Taking the above policies into account, the principle of the proposal is considered to be acceptable. The site is located centrally within Bourne, and is therefore considered to be in accordance with Policies SP1, and SP3, of the South Kesteven Local Plan and Sections 5 and 12 of the NPPF and associated Planning Practice Guidance. Specific environmental and technical issues, which support this conclusion, are discussed in detail in the following sections below.

## 7.2 **Impact on the character of the Area and Heritage Considerations**

7.2.1 Policy DE1 seeks to ensure development is appropriate for its context. Further, paragraph 135 of the NPPF provides that planning policies and decisions should ensure that developments are sympathetic to local character and history, including the surrounding built environment and landscape setting.

- 7.2.2 As the eastern half of the site is located within the Conservation Area and there are listed buildings adjacent, the relevant heritage policies are:
- 7.2.3 Policy EN6: The Historic Environment requires proposals to protect and enhance heritage assets and their settings. Proposals will be expected to take Conservation Area Appraisals into account, where these have been adopted by the Council.
- 7.2.4 Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires Local Planning Authorities to have special regard for the desirability of preserving listed buildings and their settings, or any features of special architectural or historic interest which it possesses. Similarly, Section 72 of the Act requires Local Planning Authorities to give special attention to the desirability of preserving or enhancing the character or appearance of the Conservation Area.
- 7.2.5 Due to the tight grain of the properties fronting North Street, and a similar situation along Burghley Street there are limited views into the site and as such the proposed development would be, on the whole, screened by the existing built form.
- 7.2.6 Significant discussions have taken place during the life of the planning application. This has resulted in the revised scheme.
- 7.2.7 It is considered that block A can be seen as an appropriate form of development that is not out of character when taking into account the surrounding properties, particularly the adjacent residential development on Wherry's Lane. It would be of two and half storey with dormer windows in the roof which would sit appropriately alongside the adjacent three storey development of Wherry's Lane.
- 7.2.8 Due to the back-land nature of the site there would be limited views from public vantage points along Burghley Street and Wherry's Lane.
- 7.2.9 Block B would be in the form of a linear block of eight apartments, that would have the outward appearance of a traditional, terraced town houses. Whilst noting the concerns of the conservation officer in relation to the uniformity of the proposed terraced, it is considered that, notwithstanding the uniformity, the terrace would be of an appropriate scale and massing and be constructed of suitable, traditional materials that would not be out of character with the area.
- 7.2.10 Whilst acknowledging that burgage plots are more often in the form of less regular ancillary buildings, in this instance it is considered that the proposed units would not harm the character and appearance of the area, conservation area or harm the setting of the adjacent listed buildings.
- 7.2.11 In relation to the form and layout of the proposed amenity areas, the comments of the conservation officer in relation to the preference being for the amenity space to the rear being removed and relocated to the frontage of the terrace are noted. However, it is considered that the loss of the private amenity area would be detrimental to the amenity of future occupiers.
- 7.2.12 In the previous appeal APP/E2530/W/18/3211984 in relation to S18/0645, the Inspector raised concerns in relation to external space around the proposed units. Specifically, the limited useable external garden areas.
- 7.2.13 This application addresses this matter by the inclusion of small but useable garden amenity areas to both Block A and Block B. Additionally, it should be noted that there are a number of outdoor recreational areas within walking distance of the site due to the town

centre location, including Wellhead Park and Abbey Lawns. As such future residents would have reasonable options for outdoor recreation space beyond that provided on site.

- 7.2.14 Based on the submitted information, the proposed storage building would be rebuilt in the same location as the existing outbuilding. Whilst this would be located in close proximity to the rear elevations of the properties that front North Street as it would be a re-instatement of a building it is considered that there would be no unacceptable harm to the character and appearance of the area or harm to heritage assets.
- 7.2.15 Taking into account the above matters it is considered that the proposal would be an acceptable form of development in keeping with the context and character and appearance of the street scene. As such the proposal would be in accordance with Policy DE1 and EN6 of the Local Plan and Section 12 and Section 16 of the NPPF.

### 7.3 **Impact on Residential Amenity**

- 7.3.1 Whilst the proposal would result in new built form to the rear of existing properties, taking into account the siting and massing of the proposed units and the resultant separation distances, it is considered that there would be no unacceptable overlooking or loss of privacy, or overshadowing that would result in a refusal of planning permission on that basis.
- 7.3.2 In relation to Block A, whilst accepting that there would be a number of windows facing the existing properties on Burghley street, there would be significant separation distances of approximately 30 metres from proposed front elevation and existing rear elevations of these properties.
- 7.3.3 Block B would be located roughly centrally within the site and orientated such that the front elevation would be facing southwards. Whilst this would be in close proximity to the adjacent beer garden, as would the rear elevation of Block A it is not considered that this would result in an unacceptable level of amenity for the future occupiers of the proposed development.
- 7.3.4 Whilst there would be a degree of noise and disturbance from customers using the adjacent public house and its associated beer garden it is considered that the relationship with the is not significantly worse than the relationship with existing residential properties particularly the relationship that exists between the recent development on Wherry's Lane.
- 7.3.5 The ancillary storage building would be a replacement of the previous building, and the applicant has confirmed that it would be used as storage for the existing Red Cross building. As such it is considered that there would be no significant impact on the amenity of neighbouring occupiers as it would not be occupied by a new, standalone operator and as such it is unlikely that there would be a material increase in the comings and goings beyond that which currently exists from the operation of the Red Cross business.
- 7.3.6 It is noted that the proposed development would utilise the existing access between 9 and 11 Burghley Street and as such there would be vehicle movements in close proximity to these properties during both the construction and operational phase of the development.
- 7.3.7 However, what must be taken into account is the fact that the site has been historically used as a garage court with a number of garages located on the site with the associated vehicle comings and goings.

- 7.3.8 Additionally, planning permission was granted back in 2017 for 4no. dwellings on the site which included 8no. parking spaces, two per dwelling (S17/0703). This scheme proposes 12no. spaces.
- 7.3.9 As such it is considered that the additional four spaces would not significantly increase the likely vehicle movements to and from the site and any associated noise and disturbance to an extent that would justify a refusal of planning permission on this basis.
- 7.3.10 In relation to the concerns raised regarding the use of the pedestrian access from the site eastwards onto North Street, the applicant has advised that only residents would be provided with a key and therefore it would not become an open access for members of the public.
- 7.3.11 On that basis whilst accepting that the proposed development would be likely to increase the pedestrian activity using the passage to access North Street it would be limited to the future occupiers of the development and would become an active route for pedestrians.
- 7.3.12 It is noted from members of the public that the operation of the gated access onto North Street is a concern and the current occupiers of the properties along North Street would not wish the future occupiers to be granted access. It is considered that this is a private matter between the parties involved in that the scheme would be acceptable from a planning perspective with or without pedestrian access onto North Street.
- 7.3.13 It should be noted that there is already pedestrian access from North Street to Burghley Street to the south of the site via Wherry's Lane which would be available to the future residents.
- 7.3.14 Taking into account the scale and nature of the proposal, there is not considered to be an unacceptable adverse impact on any amenity, subject to conditions to include a Construction Management Plan. As such the proposal is considered to comply with Policy DE1 of the Local Plan.

#### 7.4 **Highway Safety**

- 7.4.1 The Highway Authority has provided a comprehensive assessment of the proposal and arrives at the conclusion that the scheme would be acceptable from a highway safety perspective.
- 7.4.2 It is accepted that the junction and parking are both substandard. However, what has to be taken into account is the fact that the existing lawful use of the site is as a garage court.
- 7.4.3 The highway authority states:
- 7.4.4 "The access to the site from the public highway is well below the requirements of Manual for Streets however the site has a fallback use that would have generated comparable vehicle movements therefore the proposal will not exacerbate the any highway safety issue".
- 7.4.5 The concerns raised by members of the public based on their observations as to how the road and junction currently operates are noted. As are the comments of the highway authority in that the proposed development would not significantly exacerbate the situation.

- 7.4.6 This planning application is a response to the previous planning appeal APP/E2530/W/18/3211984 in relation to the refusal of planning permission S18/0645. Specifically, the concern that the Inspector raised in relation to absence of parking spaces.
- 7.4.7 The Inspector whilst accepting that the site is located in a sustainable town centre location, would be unlikely to be able to function car free.
- 7.4.8 *“.....it is realistic to expect that a development of 12 flats would generate some demand for parking, whether that be from residents, visitors, deliveries, maintenance or emergency vehicles. Given the parking restrictions on Burghley Street, prospective residents or visitors would be required to park further away or risk parking illegally close to the site for shorter visits such as deliveries, which would pose a risk to highway safety, particularly given the poor visibility at the Burghley Street entrance”.*
- 7.4.9 *“Increased on-street parking would erode the quality of the environment. Accordingly, it would not be unreasonable to expect the proposal to make some form of provision for future occupants who wish to have access to a car”.*
- 7.4.10 Hence the inclusion of parking, albeit limited provision within the site. This would provide not only vehicle access for the future occupiers, but also provide the ability for deliveries to the site without the need to park on the surrounding road network or parking and deliveries to take place at the entrance to the site which is accepted as being a below standard access.
- 7.4.11 Development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

The highway authority have stated that it does not consider that this proposal would result in a severe impact with regard to NPPF. I have no reason to come to a different conclusion.

- 7.4.12 It can therefore be concluded that the application, in respect of highway safety, is not in conflict with Policy ID2 of the Local Plan, or with Paragraph 116 of the NPPF.

## 7.5 **Sustainability**

- 7.5.1 Whilst the planning application does not make specific reference to the use of sustainable building techniques, or the use of sustainable technologies, there is a requirement for planning applications to accord with local plan Policy SB1 and SD1. This requires all development proposals will be expected to mitigate against and adapt to climate change, to comply with national and contribute to local targets on reducing carbon emissions and energy use unless it can be demonstrated that compliance with the policy is not viable or feasible.
- 7.5.2 Whilst the site is well-served by existing public transport connections, and by foot and bike being located within the main built-up area of Bourne, it is considered that the development should still demonstrate compliance with Policy SB1. This can be achieved by an appropriately worded conditions.

7.5.3 Taking into account the above matters the application would give rise to an acceptable form of sustainable development, in accord with Policies SD1, SB1 and DE1 of the Local Plan, and with the NPPF.

## 7.6 **Drainage**

7.6.1 Whilst a drainage strategy was submitted with the application the layout has evolved over time. Noting the comments of Lincolnshire County Council in its capacity as Local Lead Flood Authority it is considered that there is a requirement for a planning condition to ensure a satisfactory means of surface drainage for the site is achieved.

7.6.2 Anglian Water has confirmed that there is capacity at Bourne water recycling centre to accept the proposed development.

7.6.3 Anglian Water has also flagged that there is an aquifer beneath the site and expressed concerns should a piled foundation construction be utilised. Accordingly, it is considered necessary to control the type of foundation construction via an appropriately worded condition to prevent any risk to the underlying aquifer and the associated risk this may pose to water pollution.

7.6.4 Taking into account the above matters it is considered appropriate to condition the submission for approval of both surface and foul drainage details. As such the proposal is considered to accord with local plan policy EN5.

## 7.7 **Fire Safety**

7.7.1 The comments of Lincolnshire Fire and Rescue are noted. Of particular importance is the fact that they reference compliance with the relevant Building Regulations requirements. As such it is not the role of the planning system to duplicate any requirements in this respect.

7.7.2 Whilst noting concerns in relation to fire tender access, there are alternative fire safety solutions that could be provided on the site, a sprinkler system for example. Building Regulations would also require a safe means of escape.

7.7.3 The request for the provision of a fire hydrant is considered to be unnecessary and would be duplication of regulatory regimes taking into account the role of Building Regulations.

7.7.4 Taking into account the above matters it is considered that subject to compliance with the relevant Building Regulations requirements the proposed development would be acceptable from a fire safety perspective.

## 7.6 **S106 Developer Contributions**

7.6.1 Regulation 122 of the Community Infrastructure Regulations 2010 (and repeated in Paragraph 58 of the Framework) requires planning obligations to be fair and reasonably related in scale and kind to the development proposal and necessary to make the development acceptable terms.

7.6.2 The following requests for developer contributions have been received:

- 7.6.3 A NHS Health contribution of £7,920.00 is requested to mitigate against the impact of an increased demand on local health care centres/services. Specifically, The Bourne Galletly Practice and Hereward Group Practice.
- 7.7 A contribution of £25,503 towards Secondary Education provision in Bourne.
- 7.8 Affordable Housing – 2no. units affordable rent. 2no. units affordable ownership.
- 7.8.1 It is considered that the request satisfies the above tests in that without the contributions there would be an unacceptable and unmitigated impact on identified local surgeries and education provision in Bourne.

## 7.9 **Other Matters**

### 7.10 **Biodiversity Net gain**

- 7.10.1 This application was lodged with the local planning authority as significant period of time ago. This was before the relevant legislation was in place. In this instance the planning application was made before day one of mandatory BNG on the 12<sup>th</sup> February 2024 the development is therefore exempt from BNG.

In any case, the site constitutes previously developed land and currently has a low biodiversity value. While some enhancements could be made through soft-landscaping, there are limited opportunities for this as part of the scheme. The effects on biodiversity are therefore considered to be neutral.

### 7.11 **Contamination**

- 7.11.1 Noting the comments of the Environmental Protection Officer, due to previous uses on the site there is the potential for contamination to be present on the site. As such there is a requirement for a suitably worded condition in this respect.

### 7.11.2 **Housing Supply**

- 7.11.3 As of March 2025, South Kesteven Council are presently unable to demonstrate a 5-year housing land supply and as a result, the policies most important for determining the application are deemed to be out-of-date by virtue of footnote 8 and Paragraph 11 of the National Planning Policy Framework. In these circumstances, Paragraph 11(d) requires that planning permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework when taken as a whole; or where specific policies in the Framework, indicate that development be restricted.

- 7.11.4 Taking into account the above matters, whilst accepting that the proposed development would result in additional built-form in a back-land development and the associated comings and goings. However, it is considered that there would not be significant harm to the character and appearance of the area, heritage assets, visual amenity or residential amenity that would outweigh the benefits of the delivery of this modest number of residential properties in a sustainable town centre location.

## **8 Crime and Disorder**

- 8.1 It is considered that the proposal would not result in any significant crime and disorder implications.

## **9 Human Rights Implications**

- 9.1 Articles 6 (Rights to fair decision making) and Article 8 (Right to private family life and home) of the Human Rights Act have been taken into account in making this recommendation. It is considered that no relevant Article of that act will be breached.

## **10 Conclusion and Planning Balance**

- 10.1 The proposed development would result in the provision of 12 residential flats, of which 4 would be affordable units. These would be located on brownfield land in a sustainable location and therefore the benefits of residential development at this location are afforded substantial weight.
- 10.2 Whilst concerns have been raised in relation to highway matters and residential amenity and visual amenity, no harm has been found in relation to these matters when assessed against local and national policy.
- 10.3 Likewise, no harm has been identified in relation to the impact of the proposal on the setting of any listed buildings or the conservation area. As such, the scheme is considered to accord with Local Plan Policy EN6 and the statutory duties under sections 66 and 72 of the (Listed Buildings and Conservation Areas) Act 1990.
- 10.3.1 The proposed development is therefore considered to be in accordance with the development plan, when taken as a whole. There are no material consideration to indicate otherwise and therefore it is recommended that planning permission is granted, subject to conditions.

### **RECOMMENDATION:**

#### **Recommendation – Part 1**

- 10.2 To authorise the Assistant Director – Planning & Growth to GRANT planning permission, subject to the completion of a Section 106 legal agreement securing the necessary financial contribution towards healthcare provision, education and affordable housing.

#### **Recommendation – Part 2**

- 10.3 Where the Section 106 Agreement has not been concluded prior to the Committee, a period not exceeding 12 weeks after the date of the Committee shall be set for the completion of the obligation.
- 10.4 In the event that the agreement has not been concluded within the 12-week period and where, in the opinion of the Assistant Director – Planning, there are no extenuating circumstances which would justify a further extension of time, the related planning application shall be refused for the following reason(s):

The applicant has failed to enter into a planning obligation to secure the necessary financial contribution towards provision of local surgery(s), secondary education and affordable housing. As such the necessary criteria essential to make what would otherwise be unacceptable development acceptable have not been forthcoming.

## **Schedule of Conditions**

### **Time Limit for Commencement**

- 1 The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

Reason: In order that the development is commenced in a timely manner, as set out in Section 91 of the Town and Country Planning Act 1990 (as amended).

### **Approved Plans**

- 2 The development hereby permitted shall be carried out in accordance with planning application form, and with the following list of approved plans:
  - (i) Location Plan Dwg No. 3232-S01 R3
  - (ii) Proposed Block Plan Dwg. No. 3232-S02(a2) R8
  - (iii) Block A Elevations Dwg. No. 3232-BA01 R3
  - (iv) Block A Ground Floor Layout Dwg. No. 3232-BA02 R3
  - (v) Block A First Floor Layout Dwg. No. 3232-BA03 R3
  - (vi) Block A Attic Layout Dwg. No. 3232-BA04 R0
  - (vii) Block B Elevations Dwg. No. 3232-BB01-R4
  - (viii) Block B Floor Plan Dwg. No, 3232-BB03 R1
  - (ix) Storage Building Dwg. No. 3232-EB01 – R0

Unless otherwise required by another condition of this permission.

Reason: To define the permission and for the avoidance of doubt.

### **Prior to Commencement**

- 3 Before the development hereby permitted is commenced, plans showing the existing and proposed land levels of the site including [site sections, spot heights, contours and the finished floor levels of all buildings] with reference to [neighbouring properties/an off-site datum point] shall have been submitted to and approved in writing by the Local Planning Authority.

The development shall be undertaken in accordance with the approved details.

Reason: In the interests of the visual amenities of the area and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

- 4 Notwithstanding the submitted details before any of the works on the external elevations above damp proof course for the building(s), samples of the materials (including colour of any render, paintwork or colourwash) to be used in the construction of the external surfaces shall have been submitted to and approved in writing by the Local Planning Authority.

The development shall be undertaken in accordance with the approved details.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

- 5 The permitted development shall be undertaken in accordance with a surface water drainage scheme which shall first have been approved in writing by the Local Planning Authority.

The scheme shall:

- be based on sustainable drainage principles and an assessment of the hydrological and hydrogeological context of the development;
- provide flood exceedance routing for storm event greater than 1 in 100 year;
- provide details of how run-off will be safely conveyed and attenuated during storms up to and including the 1 in 100 year critical storm event, with an allowance for climate change, from all hard surfaced areas within the development into the existing local drainage infrastructure and watercourse system without exceeding the run-off rate for the undeveloped site;
- provide attenuation details and discharge rates which shall be restricted to Brownfield Run off rate;
- provide details of the timetable for and any phasing of implementation for the drainage scheme; and
- provide details of how the scheme shall be maintained and managed over the lifetime of the development, including any arrangements for adoption by any public body or Statutory Undertaker and any other arrangements required to secure the operation of the drainage system throughout its lifetime.

No dwelling/ no part of the development shall be occupied until the approved scheme has been completed or provided on the site in accordance with the approved phasing. The approved scheme shall be retained and maintained in full, in accordance with the approved details.

Reason: To ensure that the permitted development is adequately drained without creating or increasing flood risk to land or property adjacent to, or downstream of, or upstream of, the permitted development.

- 6 Before the development hereby permitted is commenced, a scheme for the treatment of foul water drainage shall have been submitted to and approved in writing by the Local Planning Authority.

The development shall be undertaken in accordance with the approved details.

Reason: To ensure the provision of satisfactory surface and foul water drainage is provided in accordance with Policy EN5 of the adopted South Kesteven Local Plan.

- 7 Prior to the commencement of the development hereby permitted details of the foundation design for Unit A, Unit B and the storage unit shall be submitted to and approved in writing by the local planning authority.

The development shall be undertaken in accordance with the approved details.

Reason: A piling foundation is unlikely to be acceptable due to the risk to the underlying aquifer and associated contamination.

- 8 Before the development hereby permitted is commenced, a scheme relating to the survey of the land for contamination shall have been submitted to and approved in writing by the Local Planning Authority. The scheme shall include:

- i. A desk top study documenting all the previous and existing land uses of the site and adjacent land;
- ii. A site investigation report assessing the ground conditions of the site (this should also assess whether Japanese Knotweed is present within the site) and incorporating chemical and gas analysis identified as appropriate by the desk top study; and
- iii. A detailed scheme for remedial works and measures to be undertaken to avoid risk from contaminants and/or gases when the site is developed and proposals for future maintenance and monitoring.
- iv. Shall include the nomination of a competent person to oversee the implementation of the works.

Reason: Previous activities associated with this site may have caused, or had the potential to cause, land contamination and to ensure that the proposed site investigations and remediation will not cause pollution in the interests of the amenities of the future residents and users of the development; and in accordance with Policies EN2 and EN4 of the adopted South Kesteven Local Plan and national guidance contained in the NPPF (section 15).

- 9 No development (including any site clearance/preparation works) shall be carried out until a Construction Environmental Management Plan has been submitted to the Local Planning Authority for approval in writing. Details shall provide the following, which shall be adhered to throughout the period of development:

- a) the parking of vehicles of site operatives and visitors;
- b) loading/unloading and storage of construction materials
- c) wheel cleaning facilities and road cleaning arrangements;
- d) measures to control the emission of dust and noise during construction;
- e) a scheme for recycling/disposing of waste resulting from site preparation and construction works;
- f) hours of construction work, site opening times, hours of deliveries and removal of materials; and
- i) routeing of construction traffic

Reason: To minimise detrimental effects to the neighbouring amenities and the

amenities of the area in general, having regard to Local Plan Policy DE1 and the National Planning Policy Framework.

- 10 Prior to the commencement of the development hereby permitted details demonstrating how the proposed units would comply with the requirements of Local Plan Policy SB1 and SD1 must be submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of how carbon dioxide emissions would be minimised through the design; the provision of charging points and a timescale for implementation.

The approved sustainable building measures shall be completed in full, in accordance with the agreed scheme prior to the occupation of each unit.

Reason: To ensure the building includes sustainable building measures in accordance with Policy SB1 of the adopted South Kesteven Local Plan.

- 11 Before the development hereby permitted is commenced, a written scheme of archaeological investigation shall have been submitted to and approved in writing by the Local Planning Authority.

Reason: In order to provide a reasonable opportunity to record the history of the site and in accordance with Policy EN6 of the adopted South Kesteven Local Plan and the NPPF (Section 16).

- 12 The archaeological investigations shall also have been completed in accordance with the approved details before development commences.

Reason: In order to provide a reasonable opportunity to record the history of the site and in accordance with Policy EN6 of the adopted South Kesteven Local Plan and the NPPF (Section 16).

- 13 Before the works to provide the boundary treatments hereby permitted are commenced, a plan indicating the heights, positions, design, materials and type of boundary treatment to be erected shall have been submitted to and approved in writing by the Local Planning Authority.

Reason: To provide a satisfactory appearance to any boundary treatments and by screening rear gardens from public view, in the interests of the privacy and amenity of the occupants of the proposed and neighbouring dwellings and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

### **Prior to Occupation**

- 14 Prior to occupation of the development hereby permitted is commenced, the hard landscaping works shall have been undertaken in accordance with Proposed Block Plan Dwg. No. 3232-S02(a2) R8 and retained as such thereafter.

Reason: Hard landscaping makes an important contribution to the development and its assimilation with its surroundings and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

- 15 Before any part of the development hereby permitted is occupied/brought into use, the storage of refuse and recycling and cycle storage shall be undertaken in accordance with Proposed Block Plan Dwg. No. 3232-S02(a2) R8 and retained as such thereafter.

Reason: To ensure the provision of satisfactory facilities for the storage of refuse and promote sustainable means of travel.

- 16 Before any part of the development hereby permitted is occupied/brought into use, the vehicle parking and turning area shall have been undertaken in accordance with Proposed Block Plan Dwg. No. 3232-S02(a2) R8 and retained as such thereafter.

Reason: To ensure that adequate parking provision is provided and retained in order to minimise on street parking and to ensure that vehicles can enter and leave premises in a forward gear in the interests of highway safety.

- 17 Before any part of the development hereby permitted is occupied/brought into use, a verification report confirming that remedial works have been completed shall have been submitted to and approved in writing by the Local Planning Authority. The report shall have been submitted by the nominated competent person approved, as required by condition above. The report shall include:

- i. A complete record of remediation activities, and data collected as identified in the remediation scheme, to support compliance with agreed remediation objectives;
- ii. As built drawings of the implemented scheme;
- iii. Photographs of the remediation works in progress; and
- iv. Certificates demonstrating that imported and/or material left in situ is free from contamination.

The scheme of remediation shall thereafter be maintained in accordance with the approved scheme.

Reason: Previous activities associated with this site may have caused, or had the potential to cause, land contamination and to ensure that the proposed site investigations and remediation will not cause pollution in the interests of the amenities of the future residents and users of the development; and in accordance with Policies EN2 and EN4 of the adopted South Kesteven Local Plan and national guidance contained in the NPPF (section 15).

- 18 Within a period of five years from the first occupation of the development hereby permitted, any trees or plants provided as part of the approved soft landscaping scheme, that die or become, in the opinion of the Local Planning Authority, seriously damaged or defective, shall be replaced in the first planting season following any such loss with a specimen of the same size and species as was approved in condition above unless otherwise agreed by the Local Planning Authority.

Reason: To ensure the provision, establishment and maintenance of a reasonable standard of landscape in accordance with the approved designs and in accordance with Policies DE1, EN3 and OS1 of the adopted South Kesteven Local Plan.

- 19 Before any part of the development hereby permitted is occupied/brought into use, the works to provide the boundary treatments shall have been completed in accordance with the approved boundary treatment scheme.

Reason: To provide a satisfactory appearance to any boundary treatments and by screening rear gardens from public view, in the interests of the privacy and amenity of the occupants of the proposed and neighbouring dwellings and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

### **On-Going**

- 20 The storage building hereby permitted shall be used in connection with the existing business at 31, North Street only.

Reason: To define the permission and to protect the amenity of neighbouring occupiers.

### **Standard Note(s) to Applicant:**

- In reaching the decision the Council has worked with the applicant in a positive and proactive manner by determining the application without undue delay. As such it is considered that the decision is in accordance with paras 38 of the National Planning Policy Framework.
- Please contact the Lincolnshire County Council Streetworks and Permitting Team on 01522 782070 to discuss any proposed statutory utility connections, Section 50 licences and any other works which will be required within the public highway in association with the development permitted under this Consent. This will enable Lincolnshire County Council to assist in the coordination and timings of these works. For further guidance please visit the Highway Authority's website via the following link: Traffic Management - <https://www.lincolnshire.gov.uk/traffic-management>
- The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 is that planning permission granted for the development of land in England is deemed to have been granted subject to the condition "(the biodiversity gain condition)" that development may not begin unless:

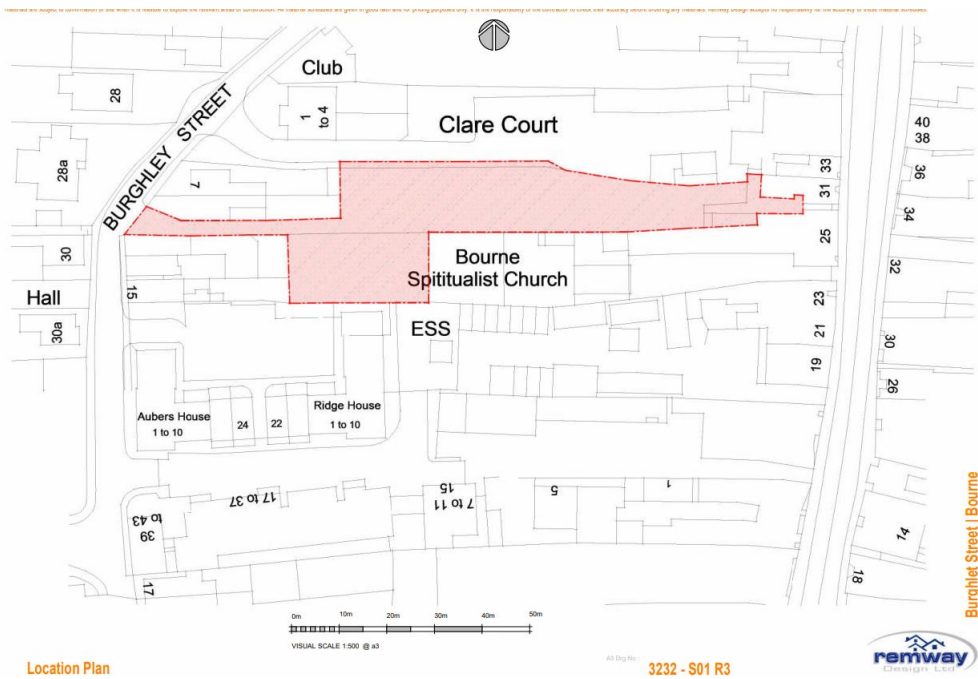
- (a) a Biodiversity Gain Plan has been submitted to the planning authority, and
- (b) the planning authority has approved the plan.

The planning authority, for the purposes of determining whether to approve a Biodiversity Gain Plan if one is required in respect of this permission would be South Kesteven District Council.

There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply.

Based on the information available this permission is considered to be one which will not require the approval of a biodiversity gain plan before development is begun as the application was made before day one of mandatory BNG on the 12<sup>th</sup> February 2024.

## Location Plan



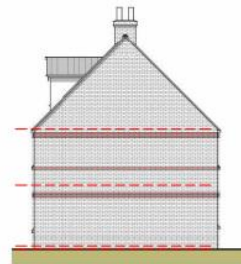




L



Elevation 01 - Front  
1:100



Elevation 02 - Right  
1:100



Elevation 03 - Rear  
1:100



Elevation 04 - Left  
1:100

- General Materials**
- Roof Covering - Standard 200 Purlin 45° pan/tilt
  - Facing Brickwork - Calculator Multi Cream stock half facing brick laid in Flemish Bond
  - Red facing brick structure detailing in Imperial Heritage Soft Stone
  - Decorated dormer windows with white painted rendering to all of the dormer cheeks
  - Timber cladding eave windows throughout
  - Asph/Flt Sheeting fabric over all openings in the masonry walls

Burghey Street | Bourne

Proposed Block B Elevations

3232 - BB01 - R4



1:20



Elevation 01 - Front  
1:100

Elevation 02 - Right  
1:100

Elevation 03 - Rear  
1:100

Elevation 04 - Left  
1:100

Burghey Street Bourne

Existing Storage Building

A3 Drg No: 3232 - EB01 - R0





**SOUTH  
KESTEVEN  
DISTRICT  
COUNCIL**

## Planning Committee

31 July 2025



## S25/0992

Proposal:	Section 73 application to vary Condition 2 (Approved Plans) of planning permission S22/2308 (Erection of 21 affordable dwellings with associated access, landscaping, parking and cycle storage provision)
Location:	Land rear of Larch Close and Shaw Road, Grantham
Applicant	South Kesteven District Council
Application Type:	Section 73 application to vary existing full planning permission
Reason for Referral to Committee:	South Kesteven District Council are Applicant and Owner
Key Issues:	<ul style="list-style-type: none"> <li>Impact on the character and appearance of the area</li> </ul>
Technical Documents:	

### Report Author

Adam Murray – Principal Development Management Planner



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**Corporate Priority:**

**Growth**

**Decision type:**

**Regulatory**

**Wards:**

**Grantham Earlesfield**

**Reviewed by:**

Phil Jordan, Development Management & Enforcement Manager

22 July 2025

### Recommendation (s) to the decision maker (s)

To authorise the Assistant Director – Planning & Growth to GRANT planning permission, subject to conditions.



## 1 Description of the site

- 1.1 The proposed development site comprises an area of approximately 0.82 hectares (2.02 acres) of irregular shaped land situated to the rear of Larch Close and Shaw Road, positioned to the south-west of Grantham.
- 1.2 The site currently forms an area of informal open space serving the local residents of the nearby residential properties. The site is broadly flat with a gentle fall from north to south.
- 1.3 The application site is bound to the north by existing residential properties which front onto Larch Close, with an informal parking area situated immediately adjacent to the north-east corner of the site; to the east are residential properties fronting onto Shaw Road; to the south by the former Fenland Foods processing site which is currently being redeveloped for the erection of a new Waste Depot; and the site is bound to the west by the A1 trunk road.
- 1.4 The application site benefits from clearly defined boundaries to all sides; to the north and east, the site is bound by close boarded fencing marking the rear gardens of the existing residential properties on Larch Close and Shaw Road; to the south, the site is defined by a low level landscaped bund with palisade fencing beyond. Similarly, to the west, the site boundary is marked by a landscaped bund with mature boundary trees and hedgerow beyond.

## 2 Description of the proposal

- 2.1 The current application is a Section 73 planning application seeking to vary Condition 2 (Approved Plans) of planning permission S22/2308.
- 2.2 The application form identifies that a further drainage investigation has identified that an existing drain runs along the southern part of the site. As such, the site has been redesigned to accommodate the necessary drainage easements. For completeness, this would consist of the following amendments to the recent Section 73 planning permission (LPA Ref: S24/2037).
  - The apartments have been consolidated into a single 2-3 storey building in the southern part of the site, but have been positioned forward from the southern boundary to allow for the drainage easement.
  - The apartments cycle storage has been relocated from the front of the building to the rear.
  - A new landscaped bund is to be provided along the southern boundary, which replaces the existing mound, which was previously proposed to be reprofiled.
  - Plot 7 & 8 have been altered to have a stepped ridge line to the roof and the location of the parking for Plot 8 has been moved further back and altered to a tandem parking arrangement.
  - Plot 1 & 2, which are the bungalows, have been altered from a stepped roof to a hipped roof design
- 2.3 The overall mix and quantum of housing remains unchanged.

## 3 Relevant History

Application Ref	Description of Development	Decision
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S22/2308	Erection of 21 dwellings with associated access, landscaping, parking and cycle storage provision	Approved Conditionally 02.08.2024
S24/2037	Section 73 application to vary Condition 2 (Approved Plans) of S22/2308	Approved Conditionally 18.03.2025
S25/0019	Submission of details reserved by Condition 3 (Archaeology), 5 (Noise Impact Assessment) and 7 (Remediation Strategy)	Details Approved 18.03.2025

## **4 Policy Considerations**

### **4.1 South Kesteven Local Plan 2011-2036 (Adopted January 2024)**

Policy SD1 – The Principles of Sustainable Development in South Kesteven

Policy DE1 – Promoting Good Quality Design

Policy SB1 – Sustainable Building

Policy ID2 – Transport and Strategic Transport Infrastructure

### **4.2 Design Guidelines for Rutland and South Kesteven Supplementary Planning Document (Adopted November 2021)**

### **4.3 National Planning Policy Framework (NPPF) (Published December 2024)**

Section 2 – Achieving sustainable development.

Section 4 – Decision-making

Section 5 – Delivering a sufficient supply of homes

Section 9 – Promoting sustainable transport

Section 11 – Making effective use of land

Section 12 – Achieving well-designed places

Section 14 – Meeting the challenge of climate change, flooding and coastal change

Section 15 – Conserving and enhancing the natural environment

### **4.4 South Kesteven Local Plan Review 2021 – 2041 (Regulation 18 Draft)**

## **5 Representations received**

### **5.1 Anglian Water**

5.1.1 The proposed change showing the easement of the sewers is acceptable to Anglian Water.

### **5.2 Cadent Gas**

5.2.1 No comments to make.

### **5.3 Gardens Trust**

5.3.1 No comments to make.

### **5.4 Grantham Town Council**

5.4.1 No objections.

### **5.5 Historic England**

5.5.1 No comments to make.

### **5.6 Lincolnshire County Council (Education)**

5.6.1 No comments to make.

## 5.7 **Lincolnshire County Council (Highways & SuDS)**

5.7.1 No objections.

5.7.2 It is noted within the application that it is now intended to keep the development private. However, whilst this avoids the need for a Section 38 agreement, the development will meet the requirements for an Advanced Payments Code (APC) agreement.

## 5.8 **Ministry of Defence (Defence Infrastructure Organisation)**

5.8.1 No objections.

## 5.9 **National Highways**

5.9.1 No objections.

## 5.10 **NHS Lincolnshire Integrated Care Board**

5.10.1 No comments received.

## 5.11 **SKDC Environmental Protection**

5.11.1 No comments to make.

## **6 Representations as a Result of Publicity**

6.1 The application has been advertised in accordance with the Council's Statement of Community Involvement and one letter of representation has been received. The representation has requested the provision of swift nesting bricks as part of the development.

## **7 Evaluation**

7.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that the Local Planning Authority makes decisions in accordance with the adopted Development Plan, unless material considerations indicate otherwise. The Council adopted the South Kesteven Local Plan 2011-2036 on 30 January 2020, and this forms the Development Plan for the District and is the basis for decision-making for the current application.

7.2 The Local Planning Authority also have an adopted Design Guidelines Supplementary Planning Document (SPD) (Adopted November 2021), and this document is a material consideration in the determination of planning applications.

7.3 The policies and provisions set out in the National Planning Policy Framework (NPPF) ("the Framework") (Published December 2024) are also a relevant material consideration in the determination of planning applications.

7.4 It is also appreciated that the Local Planning Authority are also in the process of conducting a Local Plan Review. The initial Regulation 18 consultation on the draft Plan was carried out between February and April 2024 and a further Regulation 18 consultation on proposed housing and mixed-use allocations is currently ongoing. At this stage, the allocations and policies contained in the Local Plan Review can be attributed very little weight in the determination of planning applications. However, the updated evidence base which accompanies the Local Plan Review is a material consideration and must be taken into account.

## 7.5 **Principle of Development**

- 7.5.1 An application can be made under Section 73 of the Town and Country Planning Act 1990 to remove or vary conditions associated with a planning permission. This is the case with the current application, which seeks to vary Condition 2 (Approved Plans) of planning permission S22/2308.
- 7.5.2 Planning permission granted under a Section 73 application takes effect as a new, independent planning permission to carry out the same development as previously approved, subject to new or amended conditions, showing the amendment together with any other relevant conditions from the original permission. The new permission would sit alongside the original permission which remains intact and unamended. It is then for the Applicant to determine which permission to implement.
- 7.5.3 The Act is very clear that “On such an application, the Local Planning Authority shall consider only the question of the conditions subject to which planning permission should be granted, and –
- (a) If they decide planning permission should be granted subject to conditions different from those subject to which the previous permission was granted, or that it should be granted unconditionally, they shall grant planning permission accordingly; and
  - (b) If they decide that planning permission should be granted subject to the same conditions as those subject to which the previous permission was granted, they shall refuse the application”.
- 7.5.4 In other words, the Local Planning Authority cannot revisit the principle of development, or any other issues, which are not relevant to the conditions of the permission which are subject to variation/removal as part of the current application.
- 7.6 **Effect on the character and appearance of the area**
- 7.6.1 As stated above, the current application seeks to vary Condition 2, which is the approved plans condition, of the host planning permission. It is noted that this condition has previously been amended to allow for a revision to the type of dwellings provided on site, and the location of the apartment blocks within the site.
- 7.6.2 The current application seeks to further redesign the scheme to account for the location of an underground sewer, which has been identified as part of further drainage investigations; and to account for the required easement from the identified sewer location. This results in the consolidation of the apartments into a single block, which are moved further into the site, and minor revisions to the roof design of the proposed bungalows and houses.
- 7.6.3 It is Officer’s assessment that the proposed consolidation of the apartments into a single building, whilst appearing to be a substantive change to the scheme, would not fundamentally alter the overall character and appearance of the development. As approved, the apartments were distributed amongst two blocks, which were 2-storey and 3-storey in scale. Therefore, consolidation of these apartments into a single building of split 2- and 3-storey scale would not substantially change the nature of the development from the approved planning permission.
- 7.6.4 Similarly, whilst the apartment building has been positioned further into the site, when viewed against the approved position, the overall principles of the site layout remain the same. Whilst this does mean that the access road will remain privately maintained rather than publicly adopted, the design and materiality of the access remains unchanged, and so this alteration, does not impact on the design quality of the scheme. In addition, it is noted

that the proposed cycle parking has been relocated to the rear of the apartment building. However, it is Officer's assessment that this remains conveniently located to encourage use by residents, and similarly, would assist in ensuring that the street scene does not appear cluttered.

- 7.6.5 The proposed architectural style remains the same as the previously approved scheme, which would complement the character and appearance of the existing built form within the area.
- 7.6.6 Similarly, the scheme would include the provision of a new landscaped bund to the southern boundary of the site, which would replace the existing bund that was previously proposed to be reprofiled. In this respect, it is Officer's assessment that the provision of a new bund along the southern boundary would assist in softening the appearance of the development and would also help to visually screening the rear amenity space for the apartment building from the neighbouring Waste Depot construction.
- 7.6.7 Taking the above into account, it is Officer's assessment that the application proposals would provide an acceptable appearance, layout, landscaping and scale, which ensures that the development scheme integrates with the character and appearance of the surrounding residential estate. Therefore, it is Officer's position that the application scheme would accord with Policy DE1 of the adopted Local Plan, the adopted Design Guidelines SPD and Section 12 of the National Planning Policy Framework.

#### 7.7 **Effect of the development on residential amenity**

- 7.7.1 In respect of the effect of the development on residential amenity, it is appreciated that no public representations have been received raising any concerns in relation to the impact on existing properties.
- 7.7.2 Nonetheless, in assessing the application proposals against the standards set out within the adopted Design Guidelines SPD, it is Officer's assessment that the proposed built form is sufficiently separated from the existing dwellings to ensure that there would not be any unacceptable adverse impacts in respect of loss of privacy, overshadowing or outlook.
- 7.7.3 Furthermore, whilst the application does include a number of material changes to the proposed layout for the development, all properties would continue to benefit from appropriate private amenity space.
- 7.7.4 Taking the above into account, it is Officer's assessment that the application proposals would not have any unacceptable adverse impacts on neighbouring properties, and would provide an appropriate level of amenity for all existing and future occupiers. As such, the application would accord with Policy DE1 of the adopted Local Plan, and Section 12 of the National Planning Policy Framework in respect of residential amenity considerations.

#### 7.8 **Other Matters**

- 7.8.1 It is noted that public representations received on the application have requested the use of nesting bird swift bricks within the development. Whilst this is not a matter which is relevant to the conditions of the current application, it is noted that the host planning permission does include a condition requiring the implementation of a scheme of mitigation, which include a requirement for the installation of bat and bird roosting boxes. As such, the proposed development would make adequate provision for the protection of birds.
- 7.8.2 Furthermore, it is appreciated that as part of the current application it is proposed that the internal access road serving the site will remain to be privately maintained rather than

publicly adopted as previously indicated. This change will only alter the maintenance responsibilities for the road, and as identified in the comments received from Lincolnshire County Council (as Local Highways Authority) the scheme will be subject to the Advanced Payments Code, which will require the road to be built to an adoptable standard, albeit it will not subsequently be publicly maintained by the County Council.

- 7.8.3 It is also acknowledged that the previous planning permission was subject to a Unilateral Undertaking, which secured financial contributions towards the improvement of healthcare capacity in the local area. This financial contribution has since been paid, and therefore, the obligations set out within the original legal agreement have been discharged. As a result, the current application, if approved, would not require the completion of a new legal agreement.

## **8 Crime and Disorder**

- 8.1 It is concluded that the proposals would not result in any significant crime and disorder implications.

## **9 Human Rights Implications**

- 9.1 Article 6 (Rights to fair decision making) and Article 8 (Right to private family life and home) of the Human Rights Act have been taken into account in making this recommendation. It is concluded that no relevant Article of the Act will be breached in making this decision.

## **10 Planning Balance and Conclusions**

- 10.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that the Local Planning Authority makes decisions in accordance with the adopted Development Plan, unless material considerations indicate otherwise.
- 10.2 The current application proposes to vary Condition 2 (Approved Plans) of planning permission S22/2308 to allow for the redesign of the scheme following identification of an underground mains sewer at the southern end of the site. This has resulted in the consolidation of the apartments into a single building, and repositioning of the built form further into the site.
- 10.3 Notwithstanding the material nature of the changes, it is Officer's assessment that the scheme will retain the overall ethos and design quality of the original planning permission. The proposed development remains of an appropriate appearance, layout and scale to ensure that it will assimilate with the existing residential estate, and the proposed landscaping plans further assist in softening the development form.
- 10.4 The proposals would not have any unacceptable adverse impacts on residential amenity and would continue to provide an appropriate level of private amenity space for future occupants of the site.
- 10.5 Taking the above into account, it is Officers assessment that the application would accord with the adopted Development Plan when taken as a whole, and there are no material considerations to indicate that planning permission should be withheld, although updated conditions are proposed.

## **11 Recommendation**

- 11.1 To authorise the Assistant Director – Planning & Growth to GRANT planning permission, subject to the proposed schedule of conditions detailed below.

## **Schedule of Condition(s)**

### **Time Limit for Commencement**

- 1) The development hereby permitted shall be commenced before the expiration of three years from the date of planning permission S22/2308.

Reason: In order that the development is commenced in a timely manner as set out in Section 91 of the Town and Country Planning Act 1990 (as amended).

### **Approved Plans**

- 2) The development hereby permitted shall be carried out in accordance with the following list of approved plans:
  - a. Proposed Site Plan (Ref: 2860/P101/Rev H)
  - b. Bungalow – Plots 1 and 2 (Ref: 2860/P200/Rev E)
  - c. House – Plots 3-6 (Ref: 2860/P201/Rev C)
  - d. House – Plots 7-8 (Ref: 2860/P204/Rev A)
  - e. Apartments – Plots 9-21 (Ref: 2860/P202/Rev C)

Unless otherwise required by another condition of this permission.

Reason: To define the permission and for the avoidance of doubt.

## **Before the Development is Commenced**

### **Archaeological Investigation**

- 3) Before the development hereby permitted is commenced, the archaeological investigations shall be completed in accordance with the Written Scheme of Archaeological Investigation approved under S25/0019, unless otherwise agreed in writing by the Local Planning Authority.

Reason: In order to provide a reasonable opportunity to record the history of the site and in accordance with Policy EN6 of the adopted South Kesteven Local Plan.

### **Construction Management Plan**

- 4) No development shall take place until a Construction Management Plan has been submitted to and approved in writing by the Local Planning Authority. The Plan and Statement shall include measures to mitigate against any adverse impacts during the construction stages of the permitted development and shall include:
  - a. The phasing of the development, including access construction
  - b. The on-site parking of all vehicles of site operatives and visitors
  - c. The on-site loading and unloading of all plant and materials
  - d. The on-site storage of all plant and materials used in constructing the development
  - e. Dust suppression measures
  - f. Wheel washing facilities
  - g. A strategy stating how surface water runoff on and from the development will be managed during construction, and protection measures for any sustainable drainage

features. This should include drawing(s) showing how the drainage systems (temporary or permanent) connect to an outfall (temporary or permanent) during all construction works.

The Construction Management Plan and Method Statement shall be strictly adhered to throughout the construction period.

Reason: In the interests of the residential amenity of the neighbouring properties.

### Drainage Strategy

- 5) Before the development hereby permitted is commenced, a scheme for the treatment of surface water drainage shall have been submitted to and approved in writing by the Local Planning Authority. The scheme shall be based on the Proposed Drainage Strategy (Ref: B24598-JNP-92-XX-DR-C-2002-P01) and the details must:
- a. Be based on sustainable drainage principles and an assessment of the hydrological and hydrogeological context of the development
  - b. Provide flood exceedance routing for storm events greater than the 1 in 100 year event.
  - c. Provide details of how run-off will be safely conveyed and attenuated during storms up to and including the 1 in 100 year critical storm event, with an allowance for climate change, from all hard surfaced areas within the development into the existing local drainage infrastructure and watercourse system without exceeding the runoff rate for the undeveloped site.
  - d. Provide attenuation details and discharge rates which shall be restricted to 2 litres per second.
  - e. Provide details of the timetable for and any phasing of implementation for the drainage scheme; and
  - f. Provide details of how the scheme shall be maintained and managed over the lifetime of the development, including any arrangements for adoption by any public body or Statutory Undertaker and any other arrangements required to secure the operation of the drainage system throughout its lifetime.

Thereafter, no dwelling shall be occupied until the approved scheme has been completed or provided on site in accordance with the approved phasing. The approved scheme shall be retained and maintained in full, in accordance with the approved details.

Reason: To ensure that the permitted development is adequately drained without creating or increasing flood risk to land or property adjacent to, or downstream of, or upstream of, the permitted development.

### During Building Works

#### Materials details

- 6) No development above damp proof course of each building hereby permitted shall begin until a detailed specification of the materials (including the colour of any render, paintwork or colourwash) to be used in the construction of the external surfaces of the building have been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 of the adopted Local Plan.

### Sustainable Building

- 7) No development above damp-proof course shall take place until details demonstrating how the proposed dwellings would comply with the requirements of Local Plan Policy SB1 have been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of how carbon dioxide emissions would be minimised through the design and construction of the development, details of water efficiency; and the provision of electric car charging infrastructure.

The approved sustainable building measures shall be completed in full for each dwelling / unit in accordance with the agreed scheme, prior to the first occupation of each dwelling / unit hereby permitted.

Reason: To ensure that the development mitigates against, and adapts to, climate change in accordance with Policy SB1 of the South Kesteven Local Plan.

### Construction Hours

- 8) Construction work on site shall only be carried out between the hours of 0730 and 1800 Monday to Friday, and 0900 and 1300 on Saturdays. Construction work shall not be carried out on Sundays or Public Holidays, unless otherwise agreed in writing by the Local Planning Authority.

The term “construction work” shall include all mobile and fixed plant and machinery, radios and the delivery of materials.

Reason: To minimise noise impacts on the adjacent residential dwellings.

### Ecological Mitigation

- 9) All works on site, including construction works, shall be carried out in accordance with the recommendations contained within the Preliminary Ecology Report (Andrew Chick) (Dated June 2021), including the installation of bat and bird roosting boxes.

The scheme of roosting boxes are to be installed on site prior to the first occupation of the development, and shall be retained for the lifetime of the development.

Reason: In the interests of best ecological practice and in accordance with Policy EN2 of the adopted South Kesteven Local Plan 2011-2036.

### Previously Unidentified Contamination

- 10) Should the developer, during excavation and construction works of the approved development site, find any area where it is suspected that the land is contaminated, then all works must stop and the Local Planning Authority notified immediately. An investigation and risk assessment must be undertaken, and where remediation is necessary, a remediation scheme must be prepared in accordance with current good practice and legislation, and submitted to and approved in writing by the Local Planning Authority.

Thereafter, the approved remediation scheme shall be implemented in accordance with the approved details. Following the completion of measures identified in the approved remediation scheme, a verification report must be prepared, which is subject to the approval

in writing by the Local Planning Authority, prior to first occupation of the dwellings hereby permitted.

Reason: Previous activities within the site may have caused, or had the potential to cause, land contamination and to ensure that any site investigation and remediation will not cause pollution, in the interests of the amenities of future residents and users of the development, and in accordance with Local Plan Policy EN4.

### **Before the Development is Occupied**

#### **Noise Mitigation Implementation and Validation Testing**

11) Before each dwelling hereby permitted is occupied, the noise mitigation measures identified for that dwelling in the Noise Impact Assessment (PEAK Acoustics) (Ref: 1110243NR) (Dated December 2024) shall be implemented in accordance with the approved details.

Thereafter, before each dwelling is occupied, a verification report that scientifically and technically demonstrates the effectiveness of the noise mitigation, shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To protect the residential amenity of future occupiers of the development.

#### **Shaw Road Pedestrian Crossing**

12) No part of the development hereby permitted shall be occupied before the works to improve the public highway (by means of an uncontrolled pedestrian crossing connecting people from Shaw Road over Trent Road) has been certified complete by the Local Planning Authority.

Reason: To ensure safe means of connectivity to the permitted development.

#### **Estate Road Surface Levels**

13) Before any dwelling hereby permitted is occupied, all of that part of the estate road and associated footways that form the junction with Shaw Road, and which will be constructed within the limits of the existing highway, shall be laid out and constructed to finished surface levels in accordance with details that shall first be submitted to and approved in writing by the Local Planning Authority.

Reason: In the interests of safety, to avoid the creation of pedestrian trip hazards within the public highway from surfacing materials, manholes and gullies that may otherwise remain for an extended period of time at dissimilar, interim construction levels.

#### **Materials Implementation**

14) Before any dwelling hereby permitted is occupied, the external materials for that building must have been completed in accordance with the approved external materials details.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

#### **Hard Landscaping Implementation**

15) Before any part of the development hereby permitted is occupied, all hard landscaping works shall have been completed in accordance with the approved details.

Reason: Hard landscaping makes an important contribution to development and its assimilation with its surroundings, and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

### Contamination Verification

16) The development hereby permitted shall not be occupied or brought into use until a verification report has been submitted to and approved in writing by the Local Planning Authority. The report shall include, unless otherwise agreed in writing:

- a. A complete record of remediation activities, and data collected, as identified in the remediation scheme to support compliance with the agreed remediation objectives.
- b. As built drawings of the implemented scheme
- c. Photographs of the remediation works in progress; and
- d. Certificates demonstrating that imported and / or material left in situ is free from contamination.

Thereafter, the scheme shall be monitored and maintained in accordance with the approved remediation scheme.

Reason: Previous activities associated with this site may have caused, or had the potential to cause, land contamination and to ensure that the proposed site investigations and remediation will not cause pollution in the interests of future residents and users of the development, and in accordance with Policy EN4 of the adopted South Kesteven Local Plan.

### Ongoing

#### Soft Landscaping Implementation

17) Before the end of the first planting / seeding season following the first occupation of the development hereby permitted, all soft landscaping works shall have been carried out in accordance with the approved soft landscaping scheme.

Reason: Soft landscaping makes an important contribution to the development and its assimilation with its surroundings, and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

#### Soft Landscaping Protection

18) Within a period of five years from the first occupation of the final dwelling / unit of the development hereby permitted, any trees or plants provided as part of the approved soft landscaping scheme, that die or become, in the opinion of the Local Planning Authority, seriously damaged or defective, shall be replaced in the first planting season following any such loss with a specimen of the same size and species, unless otherwise agreed by the Local Planning Authority.

Reason: To ensure the provision, establishment and maintenance of a reasonable standard of landscaping, in accordance with the approved designs and in accordance with Policy DE1 of the adopted Local Plan.

## **Standard Note(s) to Applicant**

- 1) In reaching the decision, the Council has worked with the applicant in a positive and proactive manner by determining the application without undue delay. As such it is considered that the decision is in accordance with Paragraph 38 of the National Planning Policy Framework (2024).
- 2) The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 is that planning permission granted for development of land in England is deemed to have been granted subject to the condition (biodiversity gain condition) that development may not begin unless:
  - (a) a Biodiversity Gain Plan has been submitted to the planning authority, and
  - (b) the planning authority has approved the plan.

The planning authority, for the purposes of determining whether to approve a Biodiversity Gain Plan, if one is required in respect of this permission would be South Kesteven District Council.

There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. These are listed below.

Based on the information available this permission is considered to be one which will not require the approval of a biodiversity gain plan before development is begun because one or more of the statutory exemptions or transitional arrangements in the list below is/are considered to apply.

- Section 73 to vary planning permission granted prior to mandatory BNG.

- 3) Anglian Water has assets close to or crossing the site or there are assets subject to an adoption agreement. Therefore, the site layout should take this into account and accommodate those assets within either prospectively adoptable highways or public open space. If this is not practicable then the sewers will need to be diverted at the developers cost under Section 185 of the Water Industry Act 1991, or in the case of apparatus under an adoption agreement, liaise with the owners of the apparatus. It should be noted that the diversion works should normally be completed before the development can commence.
- 4) Notification of intention to connect to the public sewer under Section 106 of the Water Industry Act approval and consent will be required by Anglian Water under the Water Industry Act 1991.
- 5) No building will be permitted within the statutory easement width of 3m from the pipeline without agreement from Anglian Water.
- 6) In accordance with Section 59 of the Highways Act 1980, please be considerate of causing damage to the existing highway during construction and implement mitigation measures as necessary. Should extraordinary expenses be incurred by the Highways Authority in maintaining the highway by reason of damage caused by construction traffic, the Highway Authority may seek to recover these expenses from the developer.
- 7) All roads within the development hereby permitted must be constructed to an acceptable engineering standard. Those roads that are to be put forward for adoption as public highways must be constructed in accordance with the Lincolnshire County Council Development Road Specification that is current at the time of construction and the developer will be required to enter into a legal agreement with the Highway Authority under Section 38 of the Highways

Act 1980. Those roads that are not to be voluntarily put forward for adoption as public highways, may be subject to action by the Highway Authority under Section 219 (the Advance Payments code) of the Highways Act 1980. For guidance, please refer to <https://www.lincolnshire.gov.uk>

- 8) The existing ground level of the site must not be raised above the ground level of any surrounding land without further consultation with the Lead Local Flood Authority and Local Planning Authority, to consider suitable measures to ensure that surface water flood risk is not created or increased to land adjacent to the permitted development.

Proposed Site Layout



**CDM Regulations 2015**  
 It is the client's duty to make suitable arrangements for managing a project, including the allocation of sufficient time and other resources.

**The client must:**

- Provide a clear client brief including how risks will be managed, time frames, budget, contracts & operational requirements.
- Appoint a Principal Designer (PD) & ensure they provide a pre-construction information (PCI) file. The client must take reasonable steps to ensure the PD complies with any other PD duties.
- Appoint a Principal Contractor (PC). The client must take reasonable steps to ensure the PC complies with any other PC duties.
- Ensure Pre-Construction Information (PCI) is provided to every designer and contractor throughout the works & is reviewed regularly & available for inspection.
- Ensure suitable welfare facilities are available throughout the construction phase & that the principal contractor's construction phase plan is in place prior to construction phase and is maintained throughout construction works.

FOR THE OUTSTANDING RISKS PLEASE SEE 'P' DS DESIGNERS FROM ASSESSMENT REGISTER WITHIN THE PRE-CONSTRUCTION INFORMATION FILE.

Revision H / 22/04/25 / Plot 1 unit type text corrected. Note regarding 1.8m fence to site boundary removed.  
 Revision G / 22/04/25 / Plot 1 amended to 2 bed unit.  
 Revision F / 24/03/25 / New mound added to southern boundary. Existing contours greyed out.  
 Revision E / 03/03/25 / GF layout and associated hardstanding updated to new flats layout. Windows added/amended to gables of Plots 7 & 8. Additional downpipes added to Plots 1 & 2.  
 Revision D / 03/03/25 complete re design of flats and road layout.  
 Revision C / 22/11/24 / Road adjacent Plots 9-12 amended to allow for visibility. Turning Head amended to suit new road. Service margin increased to 5m. Plots 13-21 moved forward to allow for retaining structure to rear. Plot 2 label corrected to 2B4P. Accommodation and parking schedule updated.  
 Revision B / 15/10/24 / Rear boundary to Plots 1 & 2 moved and Bin Stores adjusted.  
 Revision A / 11/10/24 / Site plan updated in line with changes to Plans. Additional parking added to Plots 1 & 2.

<b>Pejham</b>	
12-23 Pejham Road, Shepperton Hill, Nottingham NG16 1AF T: 0115 977 0000 E: info@pejham.co.uk www.pejham.co.uk	
Planning	
Larch Close Gerrards	
Proposed Site Plan	
2860 / P 101	H
SCALE 1:500 @ A2	DATE 19 09 24
DRAWN BY MP	CHECKED BY SH
We warrant that the drawings, information and/or data provided are correct to the best of our knowledge and belief and that we are not aware of any circumstances that may affect their accuracy or reliability.	

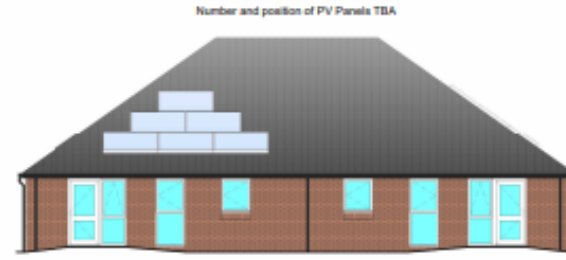
Proposed Elevations



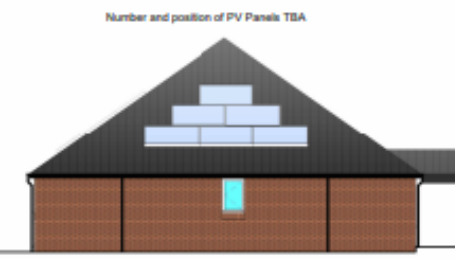
**Front Elevation**  
1 : 100



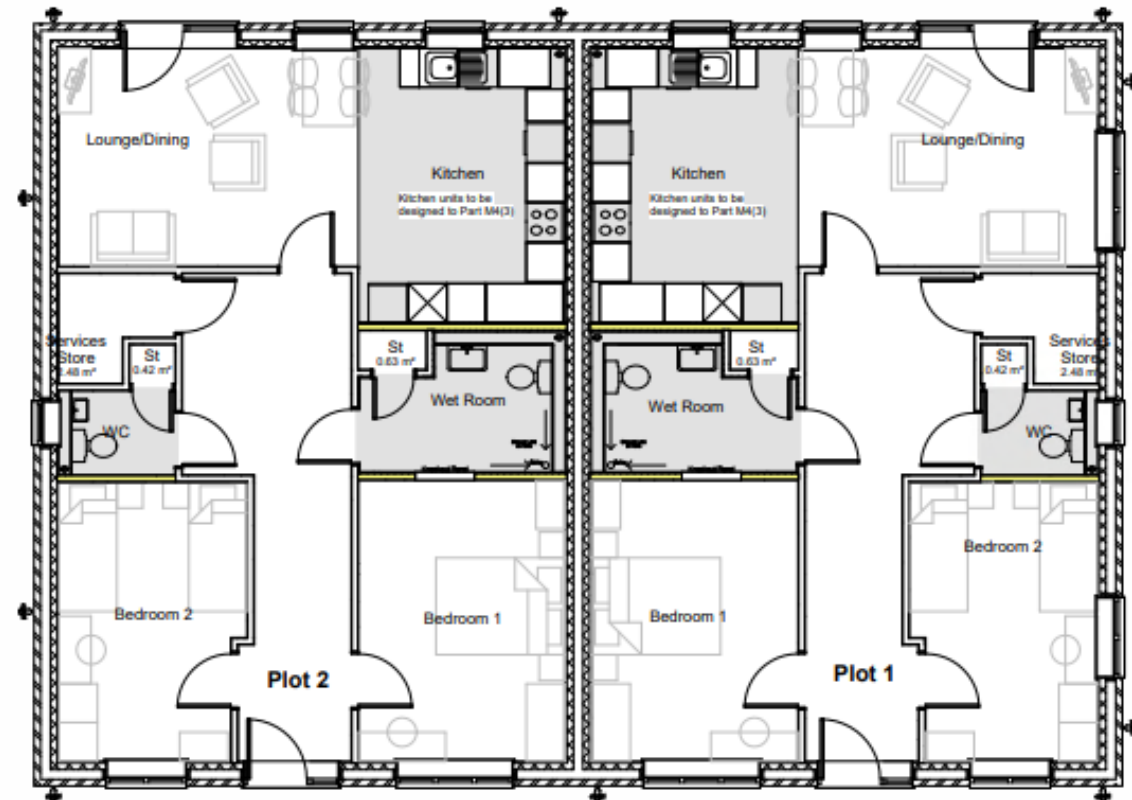
**Right Elevation**  
1 : 100



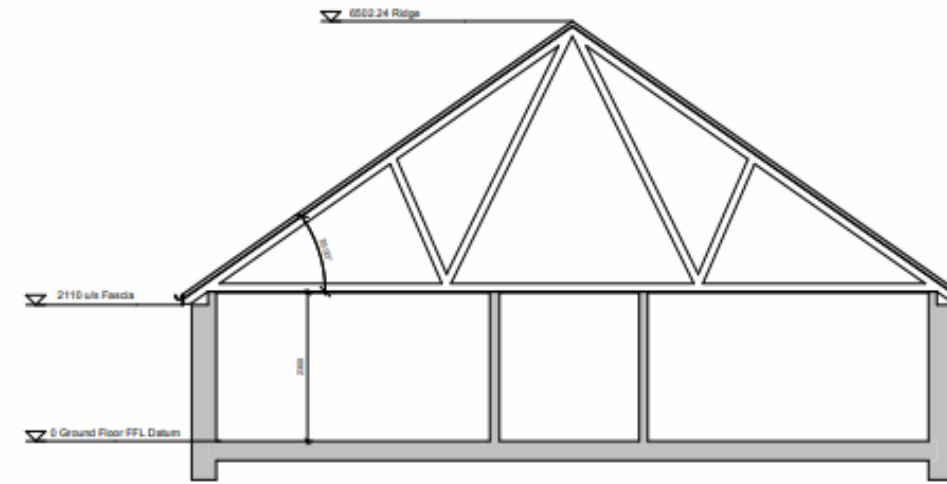
**Rear Elevation**  
1 : 100



**Left Elevation**  
1 : 100



**Ground Floor**  
1 : 50

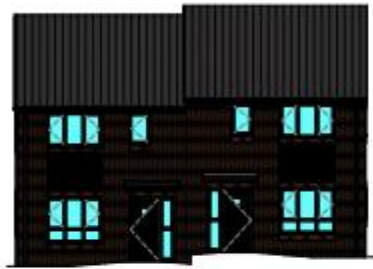


**Section**  
1 : 50

**Areas - Plots 1 & 2**

<b>Plot 1</b>	
GF	105.69 m <sup>2</sup>
	<b>105.69 m<sup>2</sup></b>
<b>Plot 2</b>	
GF	86.12 m <sup>2</sup>
	<b>86.12 m<sup>2</sup></b>

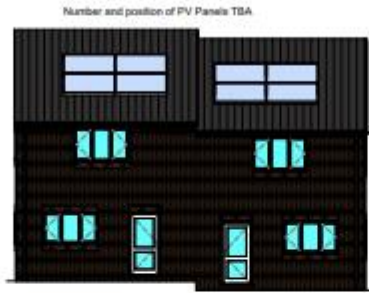
1	20/04/21	Plot 1 amended to 2 bed unit
2	20/04/21	Design added to elevations
3	18/05/21	Roof amended to gabled. Eaves height added to windows where needed previously.
4	18/05/21	Ground levels added
5	28/05/21	Drawings updated following internal review
Revised	Date	Description
<b>Pe ham</b>		
Planning		
Larch Close		
Garden		
Bungalow - Plots 1 & 2		
2860/P 200		
As Indicated @ A1	04/10/24	E
DWP	MP	



**Front Elevation**  
1 : 100



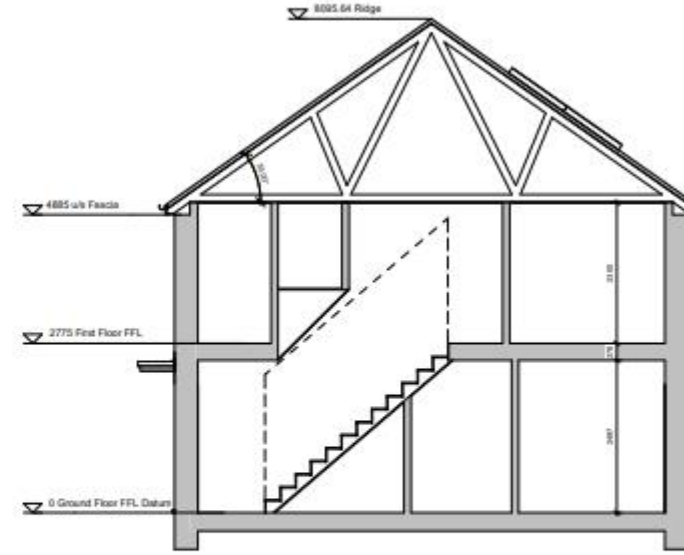
**Right Elevation**  
1 : 100



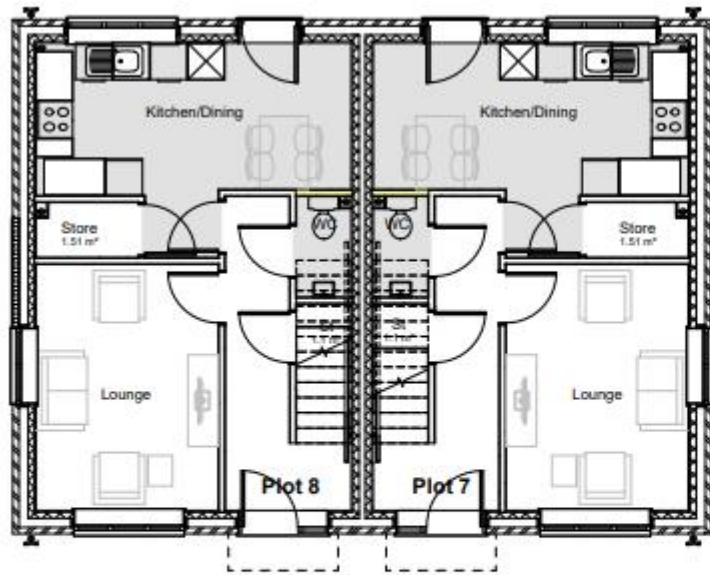
**Rear Elevation**  
1 : 100



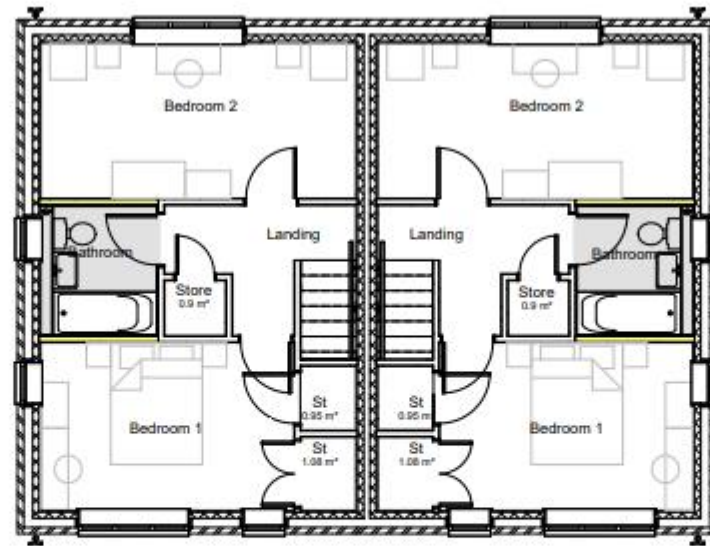
**Left Elevation**  
1 : 100



**Section**  
1 : 50



**Ground Floor**  
1 : 50



**First Floor**  
1 : 50

**Areas - Plots 7 & 8**

<b>Plot 7</b>	
GF	39.62 m <sup>2</sup>
FF	39.62 m <sup>2</sup>
	<b>79.23 m<sup>2</sup></b>
<b>Plot 8</b>	
GF	39.62 m <sup>2</sup>
FF	39.62 m <sup>2</sup>
	<b>79.23 m<sup>2</sup></b>

A		Order course added to rear door floor level and ridge height added to back roofline noted in plan.	
Revision	Scale	Description	
<b>Pe ham</b>			
Planning			
Larch Close			
Buckham			
House - Plots 7-8			
2860/P 204			A
As indicated @ A1		04/10/24	
DWP		MP	

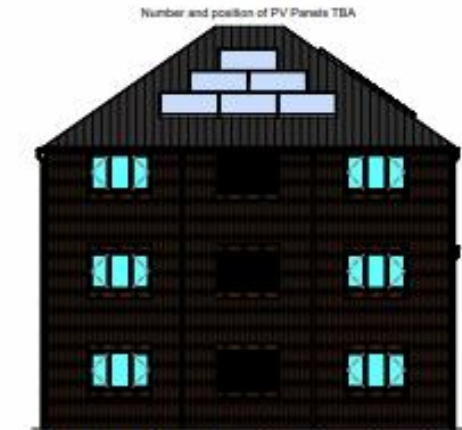




**Left Elevation**  
1 : 100



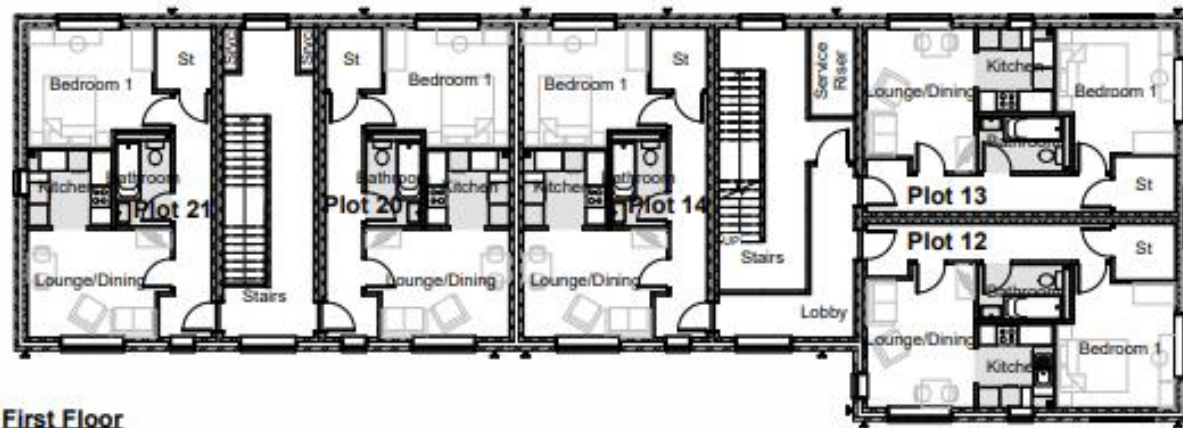
**Front Elevation**  
1 : 100



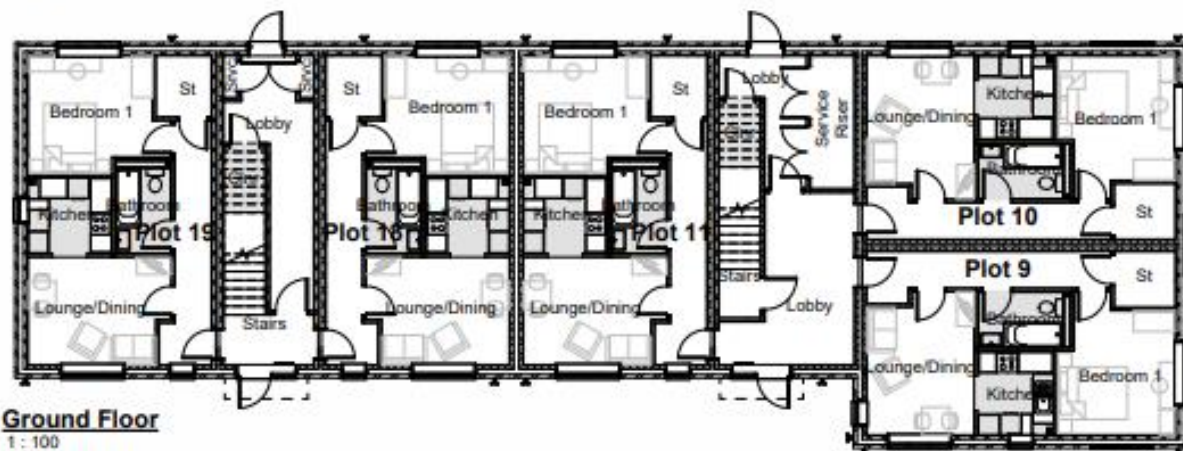
**Right Elevation**  
1 : 100



**Second Floor**  
1 : 100



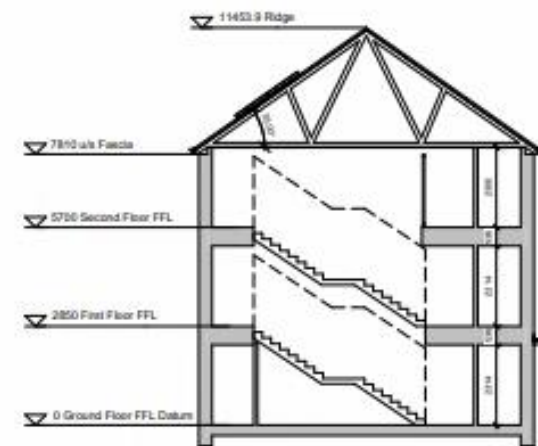
**First Floor**  
1 : 100



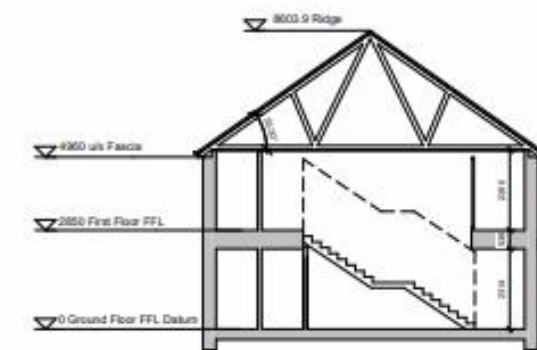
**Ground Floor**  
1 : 100



**Rear Elevation**  
1 : 100



**Section - Plot 9-17**  
1 : 100



**Section - Plot 18-21**  
1 : 100

**Areas - Plots 9-21**

All Flats  
All Flats 47.01 m<sup>2</sup>  
47.01 m<sup>2</sup>

IC	2018/20	Continual areas updated to allow for better fire escape. Depth added to drawings
MA	10/12/21	Final redlines
MA	07/12/21	Drawings updated following internal review
Revision	Date	Description
<b>Pelham</b>		
Planning		
Larch Close		
Dwelling		
Apartments - Plots 9-21		
2860/P 202		
C		
1 : 100 @ A1	04/10/24	
DWP	MP	



**SOUTH  
KESTEVEN  
DISTRICT  
COUNCIL**

## Planning Committee

31 July 2025



## S25/1158

Proposal:	Remove the bell turret from the building intact using a crane and to take it off site to a suitable joinery workshop facility to be deconstructed, assessed, repaired and then remounted on the building at a later date.
Location:	Guildhall Arts Centre, St Peter's Hill, Grantham, Lincolnshire, NG31 6PY
Applicant:	South Kesteven District Council
Agent:	Steve Saunders of William Saunders
Application Type:	Listed Building Consent
Reason for Referral to Committee:	South Kesteven District Council is the applicant
Key Issues:	Impact on listed building
Technical Documents:	Heritage Statement, Design and Access Statement, Photographic Record

### Report Author

Ariane Buschmann, Conservation Officer



01476 406 521



Ariane.buschmann@southkesteven.gov.uk

**Corporate Priority:**

**Growth**

**Decision type:**

**Regulatory**

**Wards:**

**Grantham St Wulfram's**

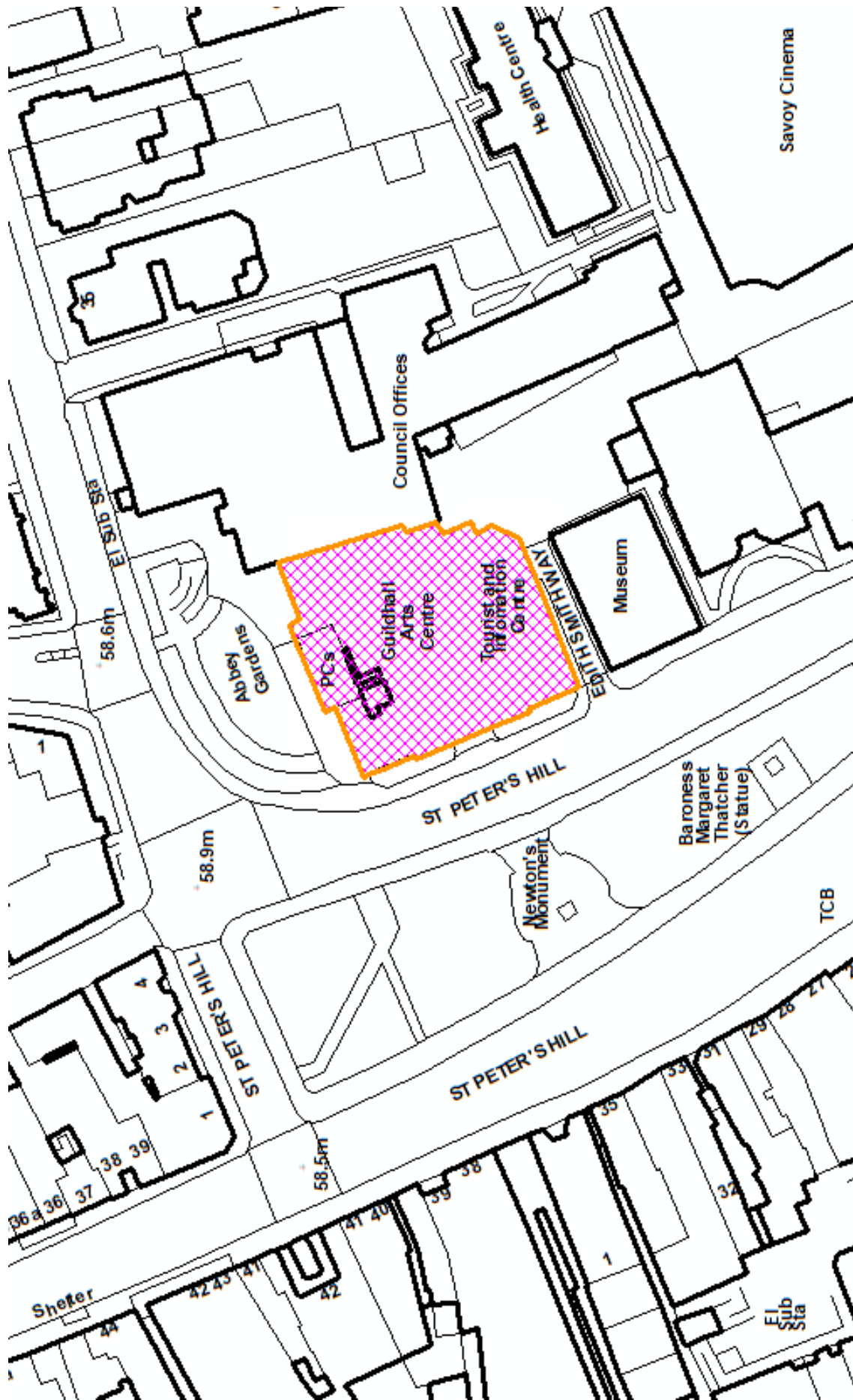
**Reviewed by:**

Phil Jordan, Development Management & Enforcement Manager

22 July 2025

### Recommendation (s) to the decision maker (s)

To authorise the Assistant Director for Planning & Growth to APPROVE listed building consent subject to conditions



Key



Application  
Boundary



## 1 Description of Site

- 1.1 The application site comprises a Grade II Listed Building (NHLE 1360282) that currently operates as Guildhall Arts Centre, and is run by South Kesteven District Council as part of its cultural services. The site is located within the Grantham town centre, which falls within the Civic Centre Character Area of the Grantham Conservation Area.

## 2 Description of proposal

This application is seeking Listed Building Consent for the removal, dismantling, repair and reinstatement of the bell turret at the Guildhall. This is necessary due to the substantial deterioration of the timber structure, as well as general aging and weathering of the features affected. As summarised by the applicant, it is proposed to:

- Take off and store the decorative curved metalwork to the lower part of the bell turret and the decorative metalwork to the adjacent duo-pitch ridge which is connected to and takes partial support from the bell turret.
- Disconnection and removal of the bell turret from the building as a single unit by crane to transport it to a joinery workshop for inspection, assessment and deconstruction.
- Remove bell and set aside for later reinstatement.
- Remove existing lead covering to conical roof and assess for re-use.
- Remove and set aside timber sarking boards to conical roof and presumed timber rafter arrangement to conical roof.
- Remove upper circular timber ring beam, lower two-layer circular timber ring beam and circular bracketed detail.
- Expose upper part of structural columns by careful removal of modern plywood, timber laths, resin and filler infill, with all fabric being recorded and tagged as the deconstruction progresses to ensure correct later reassembly. Assess the fabric to determine the extent of any renewals, aiming to retain as much existing fabric as possible.
- Produce matching replacements for all features too decayed for re-use.
- Apply primer to all new timber items, reconstruct the bell turret to original form, apply undercoat to all existing and new timber elements, clean and paint decorative metalwork.
- Transport the bell turret back to Grantham and lift as single unit back to original position and secure in place.
- Final decoration to all timber elements, with paint colour scheme to match the existing.
- Install leadwork to bell turret roof, reinstate decorative metalwork to lower part of bell turret and adjacent ridge, and replace the associated existing lead flashings where required
- Install suitable bird netting/mesh within the completed bell turret to prevent pigeons roosting on the bell structure/bell and fouling the base of the turret.
- To facilitate the re-fixing of the bell turret by enabling access beneath the turret base, strip and set aside existing slates and remove sarking and battens to the conical frustum roof beneath and the adjacent duo-pitched roof linking the bell turret to the main front roof pitch.

- Provide new vapour permeable underlay, battens and replace any defective set aside slates with new matching Welsh slate to the stripped roof.

### **3 Relevant History**

S24/0606: Maintenance and repair works to the clock lantern, pitched roofs, stone parapet copings and bracketed stone cornice

### **4 Policy Considerations**

#### **4.1 South Kesteven Local Plan 2011-2016 (Adopted January 2020)**

Policy EN6 – The Historic Environment

Policy DE1 – Promoting Good Quality Design

#### **4.2 Design Guidelines for Rutland and South Kesteven Supplementary Planning Document (Adopted November 2021)**

#### **4.3 National Planning Policy Framework (NPPF) (Adopted December 2023)**

Section 16 – Conserving and enhancing the historic environment

### **5 Representations Received**

#### **5.1 Historic England**

5.1.1 No objections.

### **6 Representations as a Result of Publicity**

The application has been advertised in accordance with the Council’s Statement of Community Involvement and no letters of representation have been received.

### **7 Evaluation**

7.1 Section 36(6) of the Planning and Compulsory Purchase Act 2004 requires that the Local Planning Authority makes decisions in accordance with the adopted Development Plan unless material considerations indicate otherwise. The Council adopted the South Kesteven Local Plan 2011-2036 on 30 January 2020, and this forms the development plan for the District and is the basis for decision-making in South Kesteven.

7.2 In addition, the Local Planning Authority have adopted a Design Guidelines Supplementary Planning Document (Adopted November 2021) and this document is a material consideration in the determination of planning applications.

7.3 The policies and provisions set out in the National Planning Policy Framework (NPPF) (“the Framework”) (Adopted February 2025) are also a relevant material consideration in the determination of planning applications.

#### 7.4 **Impact on heritage assets**

- 7.5 The Local Planning Authority is required to ensure that special regard to preserving the Listed Buildings and their settings in relation to Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (the 'Act'). No harm should be caused with the historical assets and their surroundings requiring to be preserved or enhanced.
- 7.6 Furthermore, the importance of considering the impact of development on the significance of designated heritage assets is expressed in the National Planning Policy Framework (NPPF). The NPPF advises that development and alterations to designated assets and their settings can cause harm. These policies ensure the protection and enhancement of the historic buildings and environments. Proposals that preserve those elements of the setting that make a positive contribution to or better reveal the significance should be treated favourably.
- 7.7 Policy EN6 of the SKDC Local Plan (The Historic Environment) states amongst other criteria that the Council will seek to protect and enhance heritage assets and their settings, in keeping with the policies in the National Planning Policy Framework. Proposals will be expected to take into account the Conservation Area Appraisals, where these have been adopted by the Council.
- 7.8 In the course of the previous approved works of application S24/0606, it was discovered that the bell turret showed substantial levels of deterioration, which resulted in the submission of this application to restore the bell turret. These would require removal, splice repair or full replacement to match. It is acknowledged that there would be some loss of historic fabric, due to the current condition of the timber forming bell turret. Evidence has been provided, documenting the condition of the existing timber and providing justification for the works. A site visit was undertaken to assess the condition of the bell turret, and options for its repair were discussed. It is noted that in-situ refurbishment works had been undertaken in 2011, which is further supported by the presence of modern plywood, which has deteriorated away in many places. An off-site repair of the bell turret would allow for specialist contractors to fully assess the condition and provide high quality repairs to the structure.
- 7.9 As the full condition of the fabric cannot be ascertained until the structure has been dismantled, conditions regarding the proposed material and methodologies cannot be provided pre-commencement of works. An estimated schedule of works has been provided, which evidences the aim of the works to retain as much of the historic fabric as possible. A record of the structure while being dismantled, a methodology of works and type of material should be provided in the course of the works. The works would be necessary to preserve and enhance the building, and secure the buildings architectural and aesthetic values. The works are not considered to result in harm to the significance of the building. There would be a temporary change in the buildings appearance while the bell turret is removed, however this would be mitigated by the positive impact of the works to preserve the bell turret for the future.

- 7.10 It is also proposed to strip the roof of the conical frustum roof below the turret, setting aside existing slates. This is to facilitate the re-instatement of the turret. It is expected that a number of slates will be defective and require replacement, which is proposed to be made with matching Welsh slate. A new vapour permeable underlay, and replacement of the defective battens is also proposed. A low loss of fabric would be expected for this, however the proposed works are to the benefit of the overall structure, preserving the wider historic fabric. Roofs also have a limited lifespan, and refurbishments are expected due to continuous deterioration of material. The proposed works would therefore not be considered to result in harm to the significance of the building.
- 7.11 The works are considered to preserve the heritage asset by enabling its continued use and preserving the historic fabric with the splice replacement of the substantially deteriorated sections. As such, the proposed works would preserve the character and appearance of the listed building and accords with Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Policy DE1 and EN6 of the South Kesteven Local Plan, and Section 16 of the National Planning Policy Framework.

## **8 Conclusion**

- 8.1 Taking the above into account, it is considered that the proposal would preserve the character and appearance of the listed building in accordance with the Act, the NPPF Section 16, and Policies DE1 and EN6 of South Kesteven's Local Plan.

## **9 Recommendation**

- 9.1 To authorise the Assistant Director for Planning & Growth to APPROVE listed building consent subject to the following conditions:

### **Time Limit for Commencement**

- 1 The works hereby consented shall be commenced before the expiration of three years from the date of this consent.

Reason: In order to ensure that the works are commenced in a timely manner, as set out in Sections 18 and 74 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended).

### **Approved Plans**

- 2 The works hereby consented shall be carried out in accordance with the following list of approved plans and reports:

- i) Site Location Plan received 23 June 2025
- ii) Heritage Statement received 23 June 2025
- iii) Design and Access Statement received 23 June 2025

Unless otherwise required by another condition of this permission.

Reason: To define the permission and for the avoidance of doubt.

### **During Building Works**

- 3 Within 3 months of any alterations to the bell turret, a record of the dismantled bell turret shall have been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure a full record of the fabric of the turret is maintained and appropriate methods are utilised in replacing fabric in accordance with Policy EN6 and DE1 of the adopted South Kesteven Local Plan.

- 4 Prior to any repairs to the bell turret, a methodology for the proposed replacement of deteriorated material shall have been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that appropriate methods are utilised in replacing fabric in accordance with Policy EN6 and DE1 of the adopted South Kesteven Local Plan.

- 5 Before any of the works to the refurbishment of the turret and building hereby permitted are begun, samples of the materials (including type of timber and lead, colour of any paintwork) to be used in the construction shall have been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

### **Before the Development is Occupied**

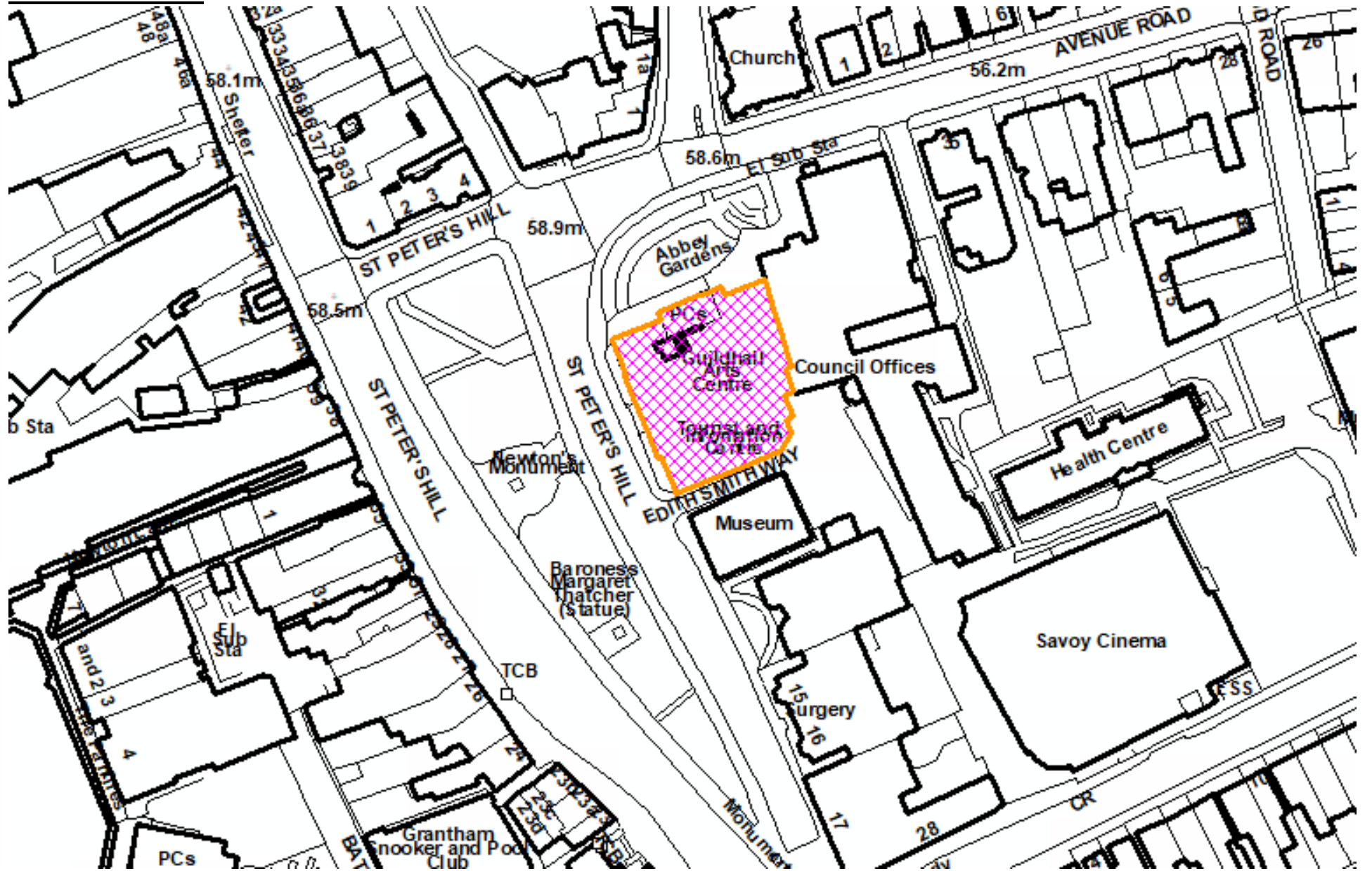
- 6 Before the part of the building being altered is first occupied/brought into use, the repair of the Bell Turret shall have been completed in accordance with the approved method statement and material.

Reason: To ensure the satisfactory preservation of this listed building and in accordance with Policy EN6 of the adopted South Kesteven Local Plan.

### **Standard Note(s) to Applicant**

- 7 In reaching the decision the Council has worked with the applicant in a positive and proactive manner by determining the application without undue delay. As such, it is considered that the decision is in accordance with Paragraph 38 of the National Planning Policy Framework.

Site Location Plan



Existing photographs







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